



**STATE BANK OF INDIA**

PREMISES DEPARTMENT

CORPORATE CENTRE, NINTH FLOOR, STATE BANK BHAVAN,  
MADAME CAMA ROAD, NARIMAN POINT, MUMBAI-21

***PART – A: TECHNICAL BID***

**TENDER FOR PROPOSED CIVIL & INTERIOR WORKS FIRST FLOOR OF STATE  
BANK OF INDIA AT MADHULI BUILDING, WORLI, MUMBAI.**

**TENDER SUBMITTED BY:**

**NAME** : \_\_\_\_\_

**ADDRESS** : \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**GSTIN NO.** : \_\_\_\_\_

**DATE** : \_\_\_\_\_

**NOTICE INVITING TENDERS**

**TENDER FOR PROPOSED CIVIL & INTERIOR WORKS FOR FIRST FLOOR OF STATE BANK OF INDIA AT MADHULI BUILDING, WORLI, MUMBAI.**

State Bank of India (herein after referred to as 'SBI / the Bank'), having its Corporate Centre at Nariman Point, Mumbai invites **percentage rate e-tenders** from the vendors / contractors empaneled with State Bank of India, Local Head Office Mumbai Metro under category – **"IA" for Interior and Furnishing Project work above ₹ 200.00 Lakh and up to ₹ 500.00 Lakh** who received tender notice from the Project Architect for Proposed Civil & Interior Furnishing works for SBI office at first floor Madhuli Building, Worli, Mumbai.

2. Interested bidders are advised to go through the entire Tender before submission of online bids to avoid any chance of elimination. The criteria and the actual process of evaluation of the responses to this Tender and subsequent selection of the successful bidder will be entirely at Bank's discretion.

3. All the interested bidders are requested to ensure that they have a valid digital signature certificate well in advance to participate in the e-tendering.

4. The other details and schedule of the events of the tender are as under:

SN	Particulars	Details
1	Name of work	Proposed Civil & Interior Works for SBI office at first floor Madhuli Building, Worli, Mumbai.
2	Nature of Work	Civil, Interior & Allied Works
3	Time allowed for completion	<b>90 Days (3 months)</b>
4	Cost of Tender document cum Tender Processing Fee (Non-refundable)	<b>Nil</b>
5	Earnest Money Deposit	<b>Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)</b> by means of Demand Draft / Pay Order (Valid for a period of 90 Days from the last date of submission of the tender) from any scheduled Nationalized Bank drawn in favor of State Bank of India and payable at Mumbai.  <b>Tenders without EMD shall be rejected.</b>
6	Initial Security Deposit (ISD)	2% of contract amount including EMD.
7	Additional security Deposit (ASD)	Additional Security Deposit (ASD) / Additional Performance Guarantee (APG) shall be applicable if the bid price is below 7.5% of the estimated cost put to tender. The amount of such ASD/APG shall be the difference between 92.5% of estimated cost put to tender and the quoted price.

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8	Date of availability of tender documents on Service Provider's website	
	(a) Online Technical Bid	<b>10.01.2025 to 21.01.2025</b> Available at M/s e-Procurement Technologies Ltd., our Service Provider's portal <a href="https://etender.sbi/SBI/">https://etender.sbi/SBI/</a>
	(b) Online Price Bid	<b>From 10.01.2025 to 21.01.2025</b> Available at M/s e-Procurement Technologies Ltd., our Service Provider's portal <a href="https://etender.sbi/SBI/">https://etender.sbi/SBI/</a>
9	Date of Pre-bid meeting and address of Pre-bid meeting	On <b>15.01.2025 at 2.30 P.M.</b> on 1 <sup>st</sup> Floor, State bank of India, Madhuli Building, Worli, Mumbai.
10	Last date & time for submission of EMD (in original)	<b>21.01.2025 upto 02:00 PM</b> Note: It is sole responsibility of the bidder to ensure submission of their EMD in the prescribed form at this office by stipulated date and time at specified address failing which they will not be allowed to participate in e-Tendering.
11	Address for submission of EMD (in original).	Deputy General Manager (Premises), State Bank of India 9 <sup>th</sup> Floor, State Bank Bhawan Nariman Point, Mumbai - 21.
12	Last date & time for submission of Online Technical bid	<b>21.01.2025 upto 03:00 PM</b> at Service Provider's portal <a href="https://etender.sbi/SBI/">https://etender.sbi/SBI/</a>  Intended vendors who have received NIT from SBI, has to upload their online technical bid as under: i. Technical Bid after putting the signature and seal ii. Scan Copy of EMD  Online Tenders received without any one or more for the above-mentioned documents shall be summarily rejected.
13	Date and Time of opening of Online Technical Bid	<b>21.01.2025 at 03:30 PM</b>
14	Date and time for submission of Online Price Bid	<b>From 10.01.2025 to 21.01.2025 till 03:00 PM</b> at Service Provider's portal <a href="https://etender.sbi/SBI/">https://etender.sbi/SBI/</a> <i>by the bidders qualified in Online Technical Bid.</i>
15	Date and Time of opening of Online Price Bid	<b>21.01.2025 at 04:30 PM</b> after opening of Technical Bid. The price bid of only those bidders will be opened who are shortlisted in the Technical bid.
16	Defects Liability period	1-year from the date of virtual completion (excluding damages due to natural calamities).
17	Liquidated Damages	0.50% per week subject to max. 5% of contract amount for delay in completion of work.
18	Validity of offer	180 days from the date of opening of Price-bid

19	Value of Interim Certificate	<b>Rs. 30 Lakhs.</b> No advance on materials / plant / machinery or mobilization advance shall be paid under any circumstances
20	<b>Submission of Technical Bid (Hard Copy)</b>	<ol style="list-style-type: none"> <li>Contractors shall Download the entire Technical Bid to get acquainted with the terms and conditions and <b>shall upload the entire technical bid</b> without fail in the e-tendering portal after putting the signature and seal. Failing to upload as stated above, the tender will be rejected.</li> <li>However, <b>L1 Tenderer</b> should submit the whole technical bid spirally bound securely and in serial order containing all pages duly signed with company seal and date to this Office within 7 days of receipt of confirmation. Failure to submit the hardcopy of Technical Bid may render the bidder disqualified.</li> </ol>
21	<b><u>e-Tender Service Provider Contact persons:</u></b>  Primary Contact Numbers:- M:- 9081000427, 9904407997 1. Jaymeet Rathod: 079-68136829, <a href="mailto:jaymeet.rathod@eptl.in">jaymeet.rathod@eptl.in</a> 2. Vinayak Khambe: 079-68136835, <a href="mailto:vinayak.k@eptl.in">vinayak.k@eptl.in</a> 3. Nadeem Mansuri: 079-68136853, <a href="mailto:nadeem@eptl.in">nadeem@eptl.in</a> 4. Nandan Valera: 079-68136843, <a href="mailto:nandan.v@eptl.in">nandan.v@eptl.in</a> 5. Hemangi Patel: 079-68136852, <a href="mailto:hemangi@eptl.in">hemangi@eptl.in</a> 6. Kanchan Kumari: 079-68136820, <a href="mailto:kanchan.k@eptl.in">kanchan.k@eptl.in</a> 7. Deepak Narekar: 079-68136863, <a href="mailto:deepak@eptl.in">deepak@eptl.in</a> 8. Anshul Juneja: 079-68136840, <a href="mailto:anshul.juneja@eptl.in">anshul.juneja@eptl.in</a> 9. Salina Motani: 079-68136831, <a href="mailto:salina.motani@eptl.in">salina.motani@eptl.in</a> 10. Devang Patel: 079-68136859, <a href="mailto:devang@eptl.in">devang@eptl.in</a> Alternate Contact No.: Riddhi Panchal: 079-40270506, 8460518168, <a href="mailto:riddhi.panchal@auctiontigher.net">riddhi.panchal@auctiontigher.net</a>	

22. No conditions other than mentioned in the tender will be considered, and if given they will have to be withdrawn before opening of the price-bid.

23. The SBI reserve their rights to accept or reject any or all the tenders, either in whole or in part without assigning any reason(s) for doing so and no claim / correspondence shall be entertained in this regard.

24. Tenders received without EMD and Cost of Tender Documents shall be summarily rejected and such tenders shall not be allowed to participate in the online price bidding process.

25. In case the date of opening of tenders is declared as a holiday, the tenders will be opened on the next working day at the same time.

26. For any clarifications regarding E-Tendering procedure, System requirements etc. please contact M/s e-Procurement Technologies Limited, Ahmedabad, whose address is mentioned in the NIT.

Yours faithfully,

**Deputy General Manager (Premises)**

Signature of Contractor with Seal

**LETTER OF UNDERTAKING**

The Deputy General Manager,  
State Bank of India,  
Corporate Centre, Ninth Floor,  
State bank Bhavan, Madam Cama Road,  
Nariman Point, Mumbai 400 021.

Dear Sir,

Having examined the drawings, specification, design and schedule of quantities relating to the works specified in the memorandum hereinafter set out and having visited and examined the site of the works specified in the said memorandum and having acquired the requisite information relating thereto as affecting the tender, I/We hereby offer to execute the works specified in the said memorandum at the rates mentioned in the attached Schedule of Quantities and in accordance in all respects with the specifications, design, drawings and instructions in writing referred to in conditions of tender, the Articles of Agreement, Special Conditions, Schedule of Quantities and Conditions of Contract and with such materials as are provided for by, and in all other respects in accordance with such conditions so far as they may be applicable.

**MEMORANDUM**

(a)	Description of work	Proposed Civil & Interior Works for SBI office at first floor Madhuli Building, Worli, Mumbai.
(b)	Earnest Money	<b>Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)</b> by means of Demand Draft / Pay Order (Valid for a period of 90 Days from the last date of submission of the tender) from any scheduled Nationalized Bank drawn in favor of State Bank of India and payable at Mumbai.
(c)	Time allowed for completion of the Works from fourteen day after the date of written Order or date of handing over of the site (Whichever is later) to commence the work	90 Days i.e. (3) months

- 1) Should this tender be accepted, I/we hereby agree to abide by and fulfill the terms and provisions of the said conditions of contract annexed hereto so far as may be applicable or in default thereof to forfeit and pay to SBI, the amount mentioned in the said contract.
- 2) I / We have deposited a sum of **Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)** of the total tender amount as Earnest Money with the SBI which amount is not to bear any interest. Should I / We fail to execute the Contract when called upon to do so I / We do hereby agree that this sum shall be forfeited by me/us to SBI.
- 3) I/ We have read and understood various clauses of this tender and hereby submit our specific undertaking and concurrence in terms relevant clause of "Instruction to tenderer" to deposit **Additional Security Deposit (ASD)** of required amount as provided for in this tender and within the stipulated period, in case, my/our tender is found too low Additional Security Deposit (ASD) / Additional Performance Guarantee (APG) shall be applicable if the bid price is below 7.5% of the estimated cost put to

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tender. The amount of such ASD/APG shall be the difference between 92.5% of estimated cost put to tender and the quoted price.

Further, under any circumstances, whatsoever, if I/We fail to comply the same including compliance of any such other conditions of tender within the stipulated time. I /We hereby, authorized SBI to cancel my/Our tender, to forfeit my EMD/ISD/ASD and to take further necessary action as deemed fit including debarring our firm from participating in SBI future tenders/de-paneling etc.

- 4) I/ We understand that as per terms of this tender, the SBI may consider accepting our tender in part or whole or may entrust the various work proposed in phases. We, therefore, undertake that we shall not raise any claim/ compensation in the eventuality of Bank deciding to drop any of the work from the scope of work of this tender at any stage during the contract period. Further, we also undertake to execute the work entrusted to us in phases on our approved rates and within stipulated time limit without any extra claim for price escalation as also provided for in the clause 11.1.6 “Instructions to Tenderers” of this tender.
- 5) I/ We, hereby, also undertake that, we will not raise any claim for any escalation in the prices of any of the material during the currency of contract/execution/completion period including authorized extended contract period, if any.

6) Our Bankers are:

i)

ii)

The names of partners of our firm are:

i)

ii)

Name of the partner of the firm

Authorised to sign

Or

(Name of person having Power of Attorney to sign the Contract.

(Certified true copy of the Power of Attorney should be attached)

Yours faithfully,

Signature of Contractors.

Signature and addresses of Witnesses

i)

ii)

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## **INSTRUCTIONS TO THE TENDERERS**

SBI invites “**online percentage rate E-tender**” for the captioned work, through the service provider M/s E-Procurement Technologies Ltd. (Auction Tiger), from the contractors empaneled by the SBI under appropriate category (mentioned in NIT) are eligible to quote for this tender.

### **1.0 Scope of work**

The scope of work is to carry out for the Proposed Civil & Interior Works.

### **1.1 Site and its location**

The proposed work is to be carried out at State Bank of India, First Floor, Madhuli Building, Worli, Mumbai.

### **2.0 Tender documents**

2.1 The work has to be carried out strictly according to the conditions stipulated in the tender consisting of the following documents and the most workmen like manner.

#### **Instructions to tenderers**

#### **General conditions of Contract**

#### **Special conditions of Contract**

#### **Additional specifications**

#### **Drawings**

#### **Priced bid A**

2.2 The above documents shall be taken as complementary and mutually explanatory of one another but in case of ambiguities or discrepancies, shall take precedence in the order given below;

- a) Price Bid
- b) Technical specifications
- c) Drawings
- d) Special conditions of contract
- f) General conditions of contract
- g) Instructions to Tenderers

2.3 The tender documents are not transferable.

### **3.0 Site Visit**

3.1 The tenderer must obtain himself on his own responsibility and his own expenses all information and data that may be required for the purpose of filling this tender

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document and enter into a contract for the satisfactory performance of the work. The tenderer is requested satisfy himself regarding the availability of water, power, transport and communication facilities, the character quality and quantity of the materials, labour, the law-and-order situation, climatic conditions local authorities' requirement, traffic regulations etc.

The tenderer will be fully responsible for considering the financial effect of any or all the factors while submitting his tender.

4.0 **Earnest Money**

4.1 The tenderers are requested to submit the Earnest Money of **Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)** by means of Demand Draft / Pay Order (Valid for a period of 90 Days from the last date of submission of the tender) from any scheduled Nationalized Bank drawn in favor of **State Bank of India and payable at Mumbai**

4.2 EMD in any other form other than as specified above will not be accepted. Tender not accompanied by the EMD in accordance with clause 4.1 above shall be rejected.

4.3 No interest will be paid on the EMD.

4.4 EMD of unsuccessful tenderer will be refunded within 30 days of award of Contract.

4.5 EMD of successful tenderer will be retained as a part of security deposit.

5.0 **Initial/ Security Deposit**

The successful tenderer will have to submit a sum equivalent to 2% of accepted tender value less EMD by means of DD drawn in favour of DGM(Premises), SBI corporate Centre. and payable in Mumbai. within a period of 15 days of acceptance of tender.

6.0 **Security Deposit**

6.1 Total security deposit shall be 5% of contract value. Out of this 2% of contract value is in the form of Initial Security Deposit (ISD) which includes the EMD. Balance 3% shall be deducted from the running account bill of the work at the rate of 10% of the respective running account bill i.e., deduction from each running bill account will be @10% till Total Security Deposit (TSD) including ISD reaches to 5% of contract value. The 50% of the Total Security Deposit shall be paid to the contract on the basis of Architect's certifying the virtual completion. The balance 50% would be paid to the contractors after the defects liability period as specified in the contract.

6.2 **Additional Security Deposit**

Additional Security Deposit (ASD) / Additional Performance Guarantee (APG) shall be applicable if the bid price is below 7.5% of the estimated cost put to tender. The amount of such ASD/APG shall be the difference between 92.5% of estimated cost put to tender and the quoted price.

6.3 No interest shall be paid to the amount retained by the Bank as Security Deposit.



## 7.0 **Signing of contract Documents**

The successful tenderer shall be bound to implement the contract by signing an agreement and conditions of contract attached herewith within 30 days from the receipt of intimation of acceptance of the tender by the Bank. However, the written acceptance of the tenders by the Bank will constitute a binding agreement between the Bank and successful tenderer whether such formal agreement is subsequently entered into or not.

## 8.0 **Completion Period**

Time is essence of the contract. The work should be completed in all respect accordance with the terms of contract within a period of **90 days (3 months)** from the date of award of work.

## 9.0 **Validity of tender**

Tenders shall remain valid and open for acceptance for a period of 180 days from the date of opening price bid. If the tenderer withdraws his/her offer during the value period or makes modifications in his/her original offer which are not acceptable to Bank without prejudice to any other right or remedy the Bank shall be at liberty forfeit the EMD.

## 10.0 **Liquidated Damages**

The liquidated damages shall be 0.50% per week subject to a maximum of 5% of contract value.

## 11.0 **Rate and prices:**

### 11.1 **In case of item rate tender**

11.1.1 The tenderers shall quote their rates for individual items both in words and figure. In case of discrepancy between the rate quoted in words and figures, the unit rate quantity in words will prevail. If no rate is quoted for one or more items such tender shall be treated as "Incomplete Tender" and shall be summarily rejected.

The amount of each item shall be calculated, and the requisite total is given. In case of discrepancy between the unit rate and the total amount calculated from multiplication of unit rate and the quantity the unit rate quoted will govern and the amount will be corrected.

11.1.2 The tenderers need not quote their rates for which no quantities have been given. In case the tenderers quote their rates for such items those rates will be ignored and will not be considered during execution.

11.1.3 The tenderers should not change the units as specified in the tender. If any unit is changed the tenders would be evaluated as per the original unit and the contractor would be paid accordingly.

The tenderer should not change or modify or delete the description of the item. If any discrepancy is observed he should immediately bring to the knowledge of the Architect/ SBI

11.1.4 Each page of the BOQ shall be signed by the authorized person and cutting or overwriting shall be duly attested by him.

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- 11.1.5 Each page shall be totaled and the grand total shall be given.
- 11.1.6 The rate quoted shall be firm and shall include all costs, allowances etc. except GST, which shall be payable / reimbursed at actuals.
- 11.1.7 The SBI reserve their rights to accept any tenders, either in whole or in part or may entrust the work in phases or may drop the part scope of work at any stage of the project within its sole discretion without assigning any reason(s) for doing so and no claim / correspondence shall be entertained in this regard.
- 11.1.8 In case it is decided by the SBI to drop one or more items from the scope of work at any stage of the project, the contractor shall not be entitled to raise any claim / compensation for such deleted scope of work.

## **GENERAL CONDITIONS OF CONTRACT**

### **1.0 Definitions: -**

“Contract means the documents forming the tender and the acceptance thereof and the formal agreement executed between SBI (client) and the contractor, together with the documents referred there in including these conditions, the specifications, designs, drawings and instructions issued from time to time by the Architects/ Bank and all these documents taken together shall be deemed to form one contract and shall be complementary to one another.

1.1 In the contract the following expressions shall, unless the context otherwise requires, have the meaning hereby respectively assigned to them.

1.1.2 ‘Site Engineer’ shall mean an Engineer appointed by the SBI at site as their representative for day-to-day supervision of work and to give instructions to the contractors.

1.1.3 ‘The Contractor’ shall mean the individual or firm or company whether incorporate not, undertaking the works and shall include legal personal representative of individual or the composing the firm or company and the permitted assignees of individual or firms of company.

The expression ‘works or ‘work’ shall mean the permanent or temporary work description in the “Scope of work” and / or to be executed in accordance with the contract includes materials, apparatus, equipment, temporary supports, fittings and things of kinds to be provided, the obligations of the contractor hereunder and work to be done by the contractor under the contract.

1.1.4 ‘Engineer’ shall mean the representative of the Architect/consultant.

1.1.5 ‘Drawings’ shall mean the drawings prepared by the Architects and issued by the Engineer and referred to in the specifications and any modifications of such drawings as may be issued by the Engineer from time to time ‘Contract value shall mean value of the entire work as stipulated in the letter of acceptance of tender subject such additions there to or deductions there from as may be made under the provide herein after contained.

1.1.6 Specifications shall mean the specifications referred to in the tender and modifications thereof as may time to time be furnished or approved by the Architect/ Consultant.

1.1.7 “Month” means Gregorian calendar month.

1.1.8 “Week” means seven consecutive days.

1.1.9“ Day” means a calendar day beginning and ending at 00Hrs. and 24Hrs. respectively.

**CLAUSE**

1.0 **Total Security Deposit**

Total Security deposit comprise of:  
Earnest Money Deposit  
Initial security deposit  
Retention Money

a) **Earnest Money Deposit (EMD):**

The tenderer shall furnish EMD of **Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)** by means of Demand Draft / Pay Order (Valid for a period of 90 Days from the last date of submission of the tender) from any scheduled Nationalized Bank drawn in favor of **State Bank of India and payable at Mumbai**. No tender shall be considered unless the EMD is so deposited in the required form. No interest shall be paid on this EMD. The EMD of the unsuccessful tenderer shall be refunded soon after the decision to award the contract is taken without interest. The EMD shall stand absolutely forfeited if the tenderer revokes his tender at any time the period when he is required to keep his tender open acceptance by the SBI or after it is accepted by the SBI the contractor fails to enter into a formal agreement or fails to pay the initial security deposit as stipulated or fails to commence the commence the work within the stipulated time.

b) **Initial Security Deposit (ISD):**

The amount of ISD shall be 2% of accepted value of tender including the EMD in the form of DD/FDR drawn on any scheduled Bank and shall be deposited within 15 days from the date of acceptance of tender.

**ADDITIONAL SECURITY DEPOSIT / PERFORMANCE GUARANTEE**

Additional Security Deposit (ASD) / Additional Performance Guarantee (APG) shall be applicable if the bid price is below 7.5% of the estimated cost put to tender. The amount of such ASD/APG shall be the difference between 92.5% of estimated cost put to tender and the quoted price. In case contractor fails to complete the work in time or as per tender specification or leave the job incomplete, the bank will be at liberty to recover the dues from ASD or to forfeit such ASD as the case may be within its sole discretion.

No interest shall be paid to the amount retained by the Bank as Security Deposit.

c) **Retention Money:**

Besides the SD as deposited by the contractor in the above said manner, the Retention money shall be deducted from the running account bill at the rate of 10% of the gross value of work done by the contractor and claimed in each bill provided the total security deposit i.e. ISD plus EMD plus Retention Money shall both together not exceed 5% of the contract value. The 50% of the total security deposit shall be refunded to the contractor without any interest on issue of Virtual Completion certificate by the Architect/consultant. The balance 50% of the total security deposit shall be refunded to the contractors without interest within fifteen days after the end of defects liability period provided the contractor has satisfactorily attended to all defects, if any, in accordance with the conditions of contract including site clearance.

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## 2.0 Language

The language in which the contract documents shall be drawn shall be in English.

## 3.0 Errors, omissions and discrepancies

In case of errors, omissions and/ or disagreement between written and scaled dimensions on the drawings or between the drawings and specifications etc., the following order shall apply.

- i) Between scaled and written dimension (or description) on a drawing, the latter shall be adopted.
- ii) Between the written or shown description or dimensions in the drawings and the corresponding one in the specification the former shall be taken as correct.
- iii) Between written description of the item in the specifications and descriptions in bills of quantities of the same item, the former shall be adopted:
  - a) In case of difference between rates written in figures and words, the rate in words shall prevail.
  - b) Between the duplicate / subsequent copies of the tender, the original tender shall be taken as correct.

## 4.0 Scope of Work:

The contractor shall carryout complete and maintain the said work in every respect strictly accordance with this contract and with the directions of and to the satisfaction Bank to be communicated through the Architect/consultant/ Bank's Engineer. The Architect/consultant at the directions of the SBI from time-to-time issue further drawings and / or write instructions, details directions and explanations which are here after collectively references to as Architect's /consultant's instructions in regard to the variation or modification of the design, quality or quantity of any work or the addition or omission or substitution work. Any discrepancy in the drawings or between BOQ and / or drawings and / or specifications. The removal from the site of any material brought thereon by the Contractor and any substitution of any other materials therefore the removal and / or re-executed of any work executed by him. The dismissal from the work of any person engaged thereupon.

### 5.0 i) Letter of Acceptance:

Within the validity period of the tender the SBI shall issue a letter of acceptance directly or through the Architect by registered post or otherwise depositing at the of the contractor as given in the tender to enter into a Contract for the execution of the work as per the terms of the tender. The letter of acceptance shall constitute a binding contract between the SBI and the contractor.

### ii) Contract Agreement:

On receipt of intimation of the acceptance of tender from the SBI/ Architect, the successful tenderer shall be bound to implement the contract and within fifteen days there of shall sign an agreement in a non-judicial stamp paper of appropriate value.

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**6.0 Ownership of drawings:**

All drawings, specifications and copies thereof furnished by the SBI through its Architect / consultants are the properties of the SBI They are not to be used on other work.

**7.0 Detailed drawings and instructions:**

The SBI through its Architects / consultants shall furnish with reasonable proper additional instructions by means of drawings or otherwise necessary for the execution of the work. All such drawings and instructions shall be consistent with contract documents, true developments thereof and reasonably inferable there.

The work shall be executed in conformity therewith and the contractor prepare a detailed programme schedule indicating therein the date of start and completion of various activities on receipt of the work order and submit the same to the SBI directly/ through the Architect/consultant

**7.0 Copies of agreement**

Two copies of agreement duly signed by both the parties with the drawings shall be handed over to the contractors.

**8.0 Liquidated damages:**

If the contractor fails to maintain the required progress in terms of clause 6. 0 of GOC or to complete the work and clear the site including vacating their office on or before the contracted or extended date or completion, without justification in support of the cause of delay, he may be called upon without prejudice to any other right of remedy available under the law to the SBI on account of such breach to pay a liquidated damage at the rate of 0.50% of the contract value which subject to a maximum of 5% of the contract value.

**9.0 Materials, Appliances and Employees**

Unless or otherwise specified the contractor shall provide and pay for all materials, labour, water, power, tools, equipment transportation and any other facilities that are required for the satisfactory execution and completion of the work. Unless or otherwise specified all materials shall be new and both workmanship and materials shall be best quality. The contractor shall at all times enforce strict discipline and good order among his employees and shall not employ on the work any unfit person or anyone not skilled in the work assigned to him. Workman whose work or behavior is found to be unsatisfactory by the SBI /ARCHITECT/ consultant he shall be removed from the site immediately.

**10.0 Permits, Laws and Regulations:**

Permits and licenses required for the execution of the work, shall be obtained by the contractor at his own expenses. The contractor shall give notices and comply with the regulations, laws, and ordinances rules, applicable to the contract. If the contractor observes any discrepancy between the drawings and specifications, he shall promptly notify the SBI in writing under intimation of the Architect/ Consultant. If the contractor performs any act, which is against the law, rules and regulations he

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shall meet all the costs arising there from and shall indemnify the SBI for any legal actions arising there from.

**11.0 Setting out Work:**

The contractor shall set out the work and shall be responsible for the true and perfect setting out of the same and for the correctness of the positions, levels, dimensions, and alignment of all parts thereof and get it approved by the Architect / consultant before proceeding with the work. If at any time any error in this respect shall appear during the progress of the works, irrespective of the fact that the layout had been approved by, the Architect / consultant the contractor shall be responsible for the same and shall his own expenses rectify such error, if so, required to satisfaction of the SBI.

**12.0 Protection of works and property:**

The contractor shall continuously maintain adequate protection. of all his work from damage and shall protect the SBI's properties from injury or loss arising in connection with contract. He shall make good any such damage, injury, loss, except due to causes beyond his control and due to his fault or negligence.

He shall take adequate care and steps for protection of the adjacent properties. The contractor shall take all precautions for safety and protections of his employees on the works and shall comply with all applicable provisions of Govt. and local bodies' safety laws and building codes to prevent accidents, or injuries to persons or property on about or adjacent to his place of work. The contractor shall take insurance covers as per clause 24.0 at his own cost. The policy may be taken in joint names of the contractor and the SBI and the original policy may be lodged with the SBI

**13.0 Inspection of work:**

The SBI / Architect / Consultant or their representatives shall at all reasonable times have free access to the work site and / or to the workshop, factories, or other places where materials are lying or from where they are obtained and the contractor shall give every facility to the SBI/Architect/consultant and their representatives necessary for inspection and examination and test of the materials and workmanship. No person unless authorized by the SBI/ Architect /Consultant except the representative of Public authorities shall be allowed on the work at any time. The proposed work either during its construction stage or its completion can also be inspected by the Chief Technical Examiner's Organization a wing of Central Vigilance commission.

**14.0 Assignment and subletting**

The whole of work included in the contract shall be executed the contractor and he shall not directly entrust and engage or indirectly transfer, assign or underlet the contract or any part or share there of or interest therein without the written consent of the SBI through the Architect and no undertaking shall relieve the contractor from the responsibility of the contractor from active & superintendence of the work during its progress.

**15.0 Quality of materials, workmanship & Test**

All materials and workmanship shall be best of the respective kinds described in the contract and in accordance with Architect/consultant instructions and shall be subject

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from time to time to such tests as the Architect/consultant may direct at the place of manufacture or fabrication or on the site or an approved testing laboratory. The contractor shall provide such assistance, instruments, machinery, labor, and materials as are normally required for examining measuring sampling and testing any material or part of work before incorporation in the work for testing as may be selected and required by the Architect/consultant.

ii) **Samples**

All samples of adequate numbers, size, shades & pattern as per specifications shall be supplied by the contractor without any extra charges. If certain items proposed to be used are of such nature that samples cannot be presented or prepared at the site detailed literature / test certificate of the same shall be provided to the satisfaction of the Bank/Architect/consultant. Before submitting the sample / literature the contractor shall satisfy himself that the material / equipment for which he is submitting the sample / literature meet with the requirement of tender specification. Only when the samples are approved in writing by the Bank/Architect / consultant the contractor shall proceed with the procurement and installation of the particular material / equipment. The approved samples shall be the signed by the Bank/Architect / Consultant for identification and shall be kept on record at site office until the completion of the work for inspection / comparison at any time. The Bank/Architect/Consultant shall take reasonable time to approve the sample. Any delay that might occur in approving the samples for reasons of its not meeting the specifications or other discrepancies inadequacy in furnishing samples of best qualities from various manufacturers and such other aspects causing delay on the approval of the materials / equipment etc. shall be to the account of the contractor.

iii) **Cost of tests**

The cost of making any test shall be borne by the contractor if such test is intended by or provided for in the specification or BOQ.

iv) **Costs of tests not provided for**

If any test is ordered by the Bank/Architect/ Consultant which is either

- a) If so intended by or provided for or (in the cases above mentioned) is not so particularized, or though so intended or provided for but ordered by the Architect / Consultant to be carried out by an independent person at any place other than the site or the place of manufacture or fabrication of the materials tested or any Government / approved laboratory, then the cost of such test shall be borne by the contractor.

16.0 **Obtaining information related to execution of work**

No claim by the contractor for additional payment shall be entertained which is consequent upon failure on his part to obtain correct information as to any matter affecting the execution of the work nor any misunderstanding or the obtaining incorrect information or the failure to obtain correct information relieve him from any risks or from the entire responsibility for the fulfillment of contract.

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**17.0 Contractor's superintendence**

The contractor shall give necessary personal superintendence during the execution the works and as long, thereafter, as the Bank/Architect / Consultant may consider necessary until the expiry of the defects liability period, stated here to.

**18.0 Quantities**

- i) The bill of quantities (BOQ) unless or otherwise stated shall be deemed to have been prepared in accordance with the Indian Standard Method of Measurements and quantities. The rate quoted shall remain valid for variation of quantity against individual item to any extent. The entire amount paid under Clause 19, 20 hereof as well as amounts of prime cost and provision sums, if any, shall be excluded.

**19.0 Works to be measured**

The Bank/Architect/Consultant may from time to time intimate to the contractor that he requires the work to be measured and the contractor shall forthwith attend or send a representative to assist the Bank/Architect in taking such measurements and calculation and to furnish all particulars or to give all assistance required by any of them. Such measurements shall be taken in accordance with the Mode of measurements detail in the specifications. The representative of the Bank/Architect / Consultant shall take measurements with the contractor's representative and the measurements shall be entered in the measurement book. The contractor or his authorized representative shall sign all the pages of the measurement book in which the measurements have been recorded in token of his acceptance. All the corrections shall be duly attested by both representatives. No over writings shall be made in the Measurement Book (M.B.) Should the contractor not attend or neglect or omit to depute his representative to take measurements, the measurements recorded by the representative of the Bank/Architect / consultant shall be final. All authorized extra work, omissions and all variations made shall be included such measurement.

**20.0 Variations**

No alteration, omission or variation ordered in writing by the Bank/Architect / consultant vitiates the contract. In case the SBI / Architect / Consultant thinks proper at any during the progress of works to make any alteration in, or additions to or omission from the works or any. alteration in the kind or quality of the materials to be used therein, the Bank/Architect / Consultant shall give notice thereof in writing to the contractor shall confirm in writing within seven days of giving such oral instructions the contract shall alter to, add to, or omit from as the case may be in accordance with such but the contractor shall not do any work extra to or make any alterations or additions to or omissions from the works or any deviation from any of the provisions of the contract, stipulations, specifications or contract drawings without previous consent in writing of the Bank/Architect/ Consultant and the value of such extras, alterations, additions or omissions shall in all cases be determined by the Architect / Consultant and the same shall be added to or deducted from the contract value, as the case may be.

**21.0 Valuation of Variations**

No claim for an extra shall be allowed unless it shall have been executed under the authority of the Bank/Architect / Consultant with the concurrence of the SBI as herein

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mentioned. Any such extra is herein referred to as authorized extra and shall be made in accordance with the following provisions.

- a) (i) The net rates or prices in the contract shall determine the valuation of the extra work where such extra work is of similar character and executed under similar conditions as the work priced herein.  
  
(ii) Rates for all items, wherever possible should be derived out of the rates given in the priced BOQ.
- b) The net prices of the original tender shall determine the value of the items omitted, provided if omissions do not vary the conditions under which any remaining items of Works are carried out, otherwise the prices for the same shall be valued under sub-Clause 'c' hereunder.
- c) Where the extra works are not of similar character and/or executed under similar conditions as aforesaid or where the omissions vary the conditions under which any remaining items or works are carried out, then the contractor shall within 7 days of the receipt of the letter of acceptance inform the Architect/ consultant of the rate which he intends to charge for such items of work, duly supported by analysis of the rate or rates claimed and the Architect/ consultant shall fix such rate or prices as in the circumstances in his opinion are reasonable and proper, based on the market rate.
- d) Where extra work cannot be properly measured or valued the contractor shall be allowed day work prices at the net rates stated in the tender, of the BOQ or, if not, so stated then in accordance with the local day work rates and wages for the district; provided that in either case, vouchers specifying the daily time (and if required by the Architect/Consultant) the workman's name and materials employed be delivered for verifications to the Architect /consultant at or before the end of the week following that in which the work has been executed.
- e) It is further clarified that for all such authorized extra items where rates cannot be derived from the tender, the Contractor shall submit rates duly supported by rate analysis worked on the 'market rate basis for material, labour hire / running charges of equipment and wastages etc. plus 15% towards establishment charges, contractor's overheads and profit. Such items shall, not be eligible for escalation.

## 22.0 Final measurement

The measurement and valuation in respect of the contract shall be completed within two months of the virtual completion of the work.

## 23.0 Virtual Completion Certificate (VCC)

On successful completion of entire works covered by the contract to the full satisfaction of the SBI, the contractor shall ensure that the following works have been completed the satisfaction of the SBI:

- a) Clear the site of all scaffolding, wiring, pipes, surplus materials, contractor's labour equipment and machinery.
- b) Demolish, dismantle and remove the contractor's site office, temporary works, structure including labour sheds/camps and constructions and other items and things

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whatsoever brought upon or erected at the site or any land allotted to the contractor by the SBI not incorporated in the permanent works.

- c) Remove all rubbish, debris etc. from the site and the land allotted to the contractor the SBI and shall clear, level and dress, compact the site as required by the SBI.
- d) Shall put the SBI in undisputed custody and possession of the site and all land allot by the SBI.
- e) Shall hand over the work in a peaceful manner to the SBI
- f) All defects / imperfections have been attended and rectified as pointed out by the Architects to the full satisfaction of SBI.

Upon the satisfactory fulfillment by the contractor as stated above, the contractor is entitled to apply to the Architect / consultant is satisfied of the completion of work. Relative to which the completion certificate has been sought, the Architect/ consultant shall within fourteen (14) days of the receipt of the application for completion certificate, issue a VCC in respect of the work for which the VCC has applied.

This issuance of a VCC shall not be without prejudice to the SBI's rights and contractor liabilities under the contract including the contractor's liability for defects liability nor shall the issuance of VCC in respect of the works or work at any site be construction as a waiver of any right or claim of the SBI against the contractor in respect of or work at the site and in respect of which the VCC has been issued.

#### 24.0 **Work by other agencies**

The SBI / Architect / consultant reserves the rights to use premises and any portion the site for execution of any work not included in the scope of this contract which it may desire to have carried out by other persons simultaneously and the contractor shall not only allow but also extend reasonable facilities for the execution of such work. The contractor however shall not be required to provide any plant or material for the execution of such work except by special arrangement with the SBI. Such work shall be carried out in such manner as not to impede the progress of the works included in the contract.

#### 25.0 **Insurance of works**

25.1 Without limiting his obligations and responsibilities under the contract the contractor shall insure in the joint names of the SBI and the contractor against all loss of damages from whatever cause arising other than the excepted risks, for which he is responsible under the terms of contract and in such a manner that the SBI and contractor are covered for the period stipulated vide clause of GCC and are also covered during the period of maintenance for loss or damage arising from a cause, occurring prior to the commencement of the period of maintenance and for any loss or damage occasioned by the contractor in the course of any operations carried out by him for the purpose of complying with his obligations under clause.

- a) The Works for the time being executed to the estimated current Contract value thereof, or such additional sum as may be specified together with the materials for incorporation in the works at their replacement value.

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- b) The constructional plant and other things brought on to the site by the contractor to the replacement value of such constructional plant and other things.
- c) Such insurance shall be affected with an insurer and in terms approved by the SBI which approval shall not be unreasonably withheld and the contractor shall whenever require produce to the Architect / consultant the policy if insurance and the receipts for payment of the current premiums.

#### 25.2 **Damage to persons and property**

The contractor shall, except if and so far as the contract provides otherwise indemnify the SBI against all losses and claims in respect of injuries or damages to any person or material or physical damage to any property whatsoever which may arise out of or in consequence of the execution and maintenance of the works and against all claims proceedings, damages, costs, charges and expenses whatsoever in respect of or in relation thereto except any compensation of damages for or with respect to:

- a) The permanent use or occupation of land by or any part thereof.
- b) The right of SBI to execute the works or any part thereof on, over, under, in or through any lands.
- c) Injuries or damages to persons or properties which are unavoidable result of the execution or maintenance of the works in accordance with the contract
- d) Injuries or damage to persons or property resulting from any act or neglect of the SBI their agents, employees or other contractors not being employed by the contractor or for or in respect of any claims, proceedings, damages, costs, charges and expenses in respect thereof or in relation thereto or where the injury or damage was contributed to by the contractor, his servants or agents such part of the compensation as may be just and equitable having regard to the extent of the responsibility of the SBI, their employees, or agents or other employees, or agents or other contractors for the damage or injury.

#### 25.3 **Contractor to indemnify SBI**

The contractor shall indemnify the SBI against all claims, proceedings, damages, costs, charges and expenses in respect of the matters referred to in the provision sub-clause 25.2 of this clause.

#### 25.4 **Contractor's superintendence**

The contractor shall fully indemnify and keep indemnified the SBI against any action, claim, or proceeding relating to infringement or use of any patent or design or any alleged patent or design rights and shall pay any royalties which may be payable in respect of any article or part thereof included in the contract. In the event of any claim made under or action brought against SBI in respect of such matters as aforesaid the contractor shall be immediately notified thereof and the contractor shall be at liberty, at his own expenses to settle any dispute or to conduct any litigation that may arise there from, provided that the contractor shall not be liable to indemnify the SBI if the infringement of the patent or design or any alleged patent or design right is the direct result of an order passed by the Architect / consultant in this behalf.

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## 25.5 Third Party Insurance

25.5.1 Before commencing the execution of the work the contractor but without limiting his obligations and responsibilities under clause 24.0 of GCC shall insure against his liability for any material or physical damage, loss, or injury which may occur to any property including that of SBI, or to any person, including any employee of the SBI, by or arising out of the execution of the works or in the carrying out of the contract, otherwise than due to the matters referred to in the provision to clause 24.0 thereof.

### 25.5.2 Minimum amount of Third-Party Insurance

Such insurance shall be effected with an insurer and in terms approved by the SBI which approval shall not be reasonably withheld and for at least the amount stated below. The contractor shall, whenever required, produce to the Architect / consultant the policy or policies of insurance cover and receipts for payment of the current premiums.

25.6 The minimum insurance cover for physical property, injury, and death is ₹5 Lakh per occurrence with the number of occurrences limited to four. After each occurrence contractor will pay additional premium necessary to make insurance valid for four occurrences always.

### 25.7 Accident or Injury to workman:

25.7.1 The SBI shall not be liable for or in respect of any damages or compensation payable at law in respect or in consequence of any accident or injury to any workmen or other person in the employment of the contractor or any sub-contractor, save and except an accident or injury resulting from any act or default of the SBI or their agents, or employees. The contractor shall indemnify and keep indemnified SBI against all such damages and compensation, save and except as aforesaid, and against all claims, proceedings, costs, charges and expenses whatsoever in respect thereof or in relation thereto.

### 25.7.2 Insurance against accidents etc. to workmen

The contractor shall insure against such liability with an insurer approved by the SBI during the whole of the time that any persons are employed by him on the works and shall, when required, produce to the Architect / consultant such policy of insurance and receipt for payment of the current premium. Provided always that, in respect of any persons employed by any sub-contractor the contractor's obligation to insure as aforesaid under this sub-clause shall be satisfied if the sub-contractor shall have insured against the liability in respect of such persons in such manner that SBI is indemnified under the policy but the contractor shall require such sub-contractor to produce to the Architect / consultant when such policy of insurance and the receipt for the payment of the current premium.

### 25.7.3 Remedy on contractor's failure to insure

If the contractor fails to effect and keep in force the insurance referred to above or any other insurance which he may be required to effect under the terms of contract, then and in any such case the SBI may effect and keep in force any such insurance and pay such premium or premiums as may be necessary for that purpose and from time to time deduct the amount so paid by the SBI as aforesaid from any amount due

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or which may become due to the contractor, or recover the same as debt from the contractor.

25.7.4 Without prejudice to the others rights of the SBI against contractors. In respect of such default, the employer shall be entitled to deduct from any sums payable to the contractor the amount of any damages costs, charges, and other expenses paid by the SBI and which are payable by the contractors under this clause. The contractor shall upon settlement by the Insurer of any claim made against the insurer pursuant to a policy taken under this clause, proceed with due diligence to rebuild or repair the works destroyed or damaged. In this event all the monies received from the Insurer in respect of such damage shall be paid to the contractor and the Contractor shall not be entitled to any further payment in respect of the expenditure incurred for rebuilding or repairing of the materials or goods destroyed or damaged.

26.0 **Commencement of Works:**

The date of commencement of the work will be reckoned as the date, seven days from the date of award of letter by the SBI.

27.0 **Time for completion**

Time is essence of the contract and shall be strictly observed by the contractor. The entire work shall be completed within a period of **90 days (3 months)** from the date of commencement. If required in the contract or as directed by the Bank/Architect / consultant. The contractor shall complete certain portions of work before completion of the entire work. However, the completion date shall be reckoned as the date by which the whole work is completed as per the terms of the contract.

28.0 **Extension of time**

If, in the opinion of the Bank/Architect/consultant, the work be delayed for reasons beyond the control of the contractor, the Architect/consultant may submit a recommendation to the SBI to grant a fair and reasonable extension of time for completion of work as per the terms of contract. If the contractor needs an extension of time for the completion of work or if the completion of work is likely to be delayed for any reasons beyond the due date of completion as stipulated in the contract, the contractor shall apply to the SBI directly/ through the Architect' Consultant in writing at least 30 Days before the expiry of the scheduled time and while applying for extension of time he shall furnish the reason in detail and his justification if any, for the delays. The Architect/consultant shall submit their recommendations to the SBI in the prescribed format for granting extension of time. While granting extension of time the contractor shall be informed the period extended time which will qualify for levy of liquidated damages. For the balance period in excess of original stipulated period and duly sanctioned extension of time by the provision of liquidated damages as stated under clause 10.0 shall become applicable. Further the contract shall remain in force even for the period beyond the due date of completion irrespective whether the extension is granted or not.

29.0 **Rate of progress**

Whole of the materials, plant and labour to be provided by the contractor and the mode, manner and speed of execution and maintenance of the works are to be of a kind and conducted in a manner to the satisfaction of the Bank/Architect / consultant should the rate of progress of the work or any part thereof be at any time be in the opinion the Bank/ Architect / consultant too Slow to ensure the completion of the whole of the work the prescribed time or extended time for completion the Bank/ Architect / consultant shall thereupon take such steps as considered necessary by the Bank/Architect / consultant to expedite progress so as to complete the works by

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the prescribed time or extended time. Such communications from the Bank/Architect / consultant neither shall relieve the contractor from fulfilling obligations under the contract nor he will be entitled to raise any claims arising out of such directions.

**30.0 Work during nights and holidays**

Subject to any provision to the contrary contained in the contract no permanent work shall save as herein provided be carried on during the night or on holidays without the permission in writing of the Bank/Architect / consultant, save when the work is unavoidable or absolutely necessary for the saving of life or property or for the safety of the work in which case the contractor shall immediately advise the Bank/ Architect / consultant. However, the provisions of the clause shall not be applicable in the case of any work which becomes essential to carry by rotary or double shifts in order to achieve the progress and quality of the part of the works being technically required / continued with the prior approval of the Architect / consultant at no extra cost to the SBI

All work at night after obtaining approval from competent authorities shall be carried out without unreasonable noise and disturbance.

**31.0 No compensation or restrictions of work**

If at any time after acceptance of the tender SBI shall decide to abandon or reduce the scope of work for any reason whatsoever and hence not required, the whole or any part of the work to be carried out. The Architect / consultant shall give notice in writing that effect to the contractor and the contractor shall act accordingly in the matter. The contractor shall have no claim to any payment of compensation or otherwise whatsoever on account of any profit or advantage which he might have derived from the execution of the Work fully but which he did not derive in consequence of the foreclosure of the whole or part of the work.

Provided that the contractor shall be paid the charges on the cartage only of materials actually and bona-fide brought to the site of the work by the contractor and rendered surplus as a result of the abandonment, curtailment of the work or any portion thereof and then taken back by the contractor, provided however that the Architect / Consultant shall have in such cases the option of taking over all or any such materials at their purchase price or a local current rate whichever is less.

"In case of such stores having been issued from SBI stores and returned by the contractor to stores, credit shall be given to him at the rates not exceeding those at which were originally issued to the contractor after taking into consideration and deduction for claims on account of any deterioration or damage while in the custody of the contractor and in this respect the decision of Architect / consultant shall be final.

**32.0 Suspension of work**

- i) The contractor shall, on receipt of the order in writing of the Bank/Architect / consultant (whose decision shall be final and binding on the contractor) suspend the progress of works or any part thereof for such time and in such manner as Bank/Architect /consultant may consider necessary so as not to cause any damage or injury to the work already done or endanger the safety thereof for any of following reasons:
  - a) On account any default on the part of the contractor, or

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- b) For proper execution of the works or part thereof for reasons other than the default of the contractor, or
- c) For safety of the works or part thereof.

The contractor shall, during such suspension, properly protect and secure the works to the extent necessary and carry out the instructions given in that behalf by the Bank/Architect / consultant.

- i) If the suspension is ordered for reasons (b) and (c) in sub-para (i) above:  
The contractor shall be entitled to an extension of time equal to the period of every such suspension. No compensation whatsoever shall be paid on this account.

### 33 **Action when the whole security deposit is forfeited**

In any case in which under any clause or clauses of this contract, the Contractor shall have rendered himself liable to pay compensation amounting to the whole of his security deposit the Architect / consultant shall have the power to adopt any of the following course as they may deem best suited to the interest of the SBI:

- a) To rescind the contract (of which rescission notice in writing to the contractor by - Architect / consultant shall be conclusive evidence) and in which case the security deposit of the contractor shall be forfeited and be absolutely at the disposal of SBI
- b) To employ labour paid by the SBI and to supply materials to carry out the work, or part of the work, debiting the contractor with the cost of the labour and materials cost of such labour and materials as worked out by the Architect/consultant shall final and conclusive against the contractor) and crediting him with the value of the work done, in all respects in the same manner and at the same manner and at the same rates as if it had been carried out by the contractor under the terms of this contract certificate of Architect /consultant as to the value of work done shall be final conclusive against the contractor.
- c) To measure up the work of the contractor, and to take such part thereof as shall unexecuted, out of his hands, and to give it to another contractor to complete in which case any expenses which may be incurred in excess of the sum which would have been paid to the original contractor, if the whole work had been executed by him ( The amount of which excess the certificates in writing of the Architects / consultant shall final and conclusive) shall be borne by original contractor and may be deducted from any money due to him by SBI under the contract or otherwise, or from his security deposit or the proceeds of sale thereof, or sufficient part thereof.

In the event of any of above courses being adopted by the SBI the contractor shall have no claim to compensation for any loss sustained by him by reasons of his having purchased or procured any material or entered into any engagements or make any advances on account of, or with a view to the execution of the work or the performance of the contract and in case the contract shall be rescind under the provision aforesaid, the contractor shall not be entitled to recover or to be paid any sum or any work thereto for actually performed under this contract, unless, and until the Architect / consultant will have certified in writing the performance of such work and the value payable in respect thereof, and he shall only be entitled to be paid the value so certified.

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34.0 **Owner's right to terminate the contract**

If the contractor being an individual or a firm commit any 'Act of insolvency' or shall be adjusted an insolvent or being an incorporated company shall have an order for compulsory winding up voluntarily or subject to the supervision of Govt. and of the Official Assignee of the liquidator in such acts of insolvency or winding up shall be unable within seven days after notice to him to do so, to show to the reasonable satisfaction of the Architect / Consultant that he is able to carry out and fulfill the contract, and to dye security therefore if so required by the Architect / Consultant or if the contractor (whether an individual firm or incorporated Company) shall suffer execution to be issued or shall suffer any payment under this contract to be attached by or on behalf of any of the creditors of the contractor.

Or shall assign or sublet this contract without the consent in writing of the SBI through the Architect/Consultant or shall charge or encumber this contract or any payment due to which may become due to the contractor there under:

- a) has abandoned the contract; or
- b) has failed to commence the works, or has without any lawful excuse under these conditions suspended the progress of the works for 14 days after receiving from the SBI through the Architect / consultant written notice to proceed, or
- c) has failed to proceed with the works with such diligence and failed to make such due progress as would enable the works to be completed within the time agreed upon, or  
has failed to remove the materials from the site or to pull down and replace work within seven days after written notice from the SBI through the Architect / Consultant that the said materials were condemned and rejected by the Architect/consultant under these conditions; or has neglected or failed persistently to observe and perform all or any of the acts matters or things by this contract to be observed and performed by the contractor for seven days after written notice shall have been given to the contractor to observe or perform the same or has to the detriment of good workmanship or in defiance of the SBI or Architect's / consultant's instructions to the contrary subject any part of the contract. Then and in any of said cases the SBI and or the Architect / consultant, may not withstanding any previous waiver, after giving seven days' notice in writing to the contractor, determine the contract, but without thereby affecting the powers of the SBI or the Architect / consultant or the obligation and liabilities of the contractor the whole of which shall continue in force as fully as if the contract had not been determined and as if the works subsequently had been executed by or on behalf of the contractor. And, further the SBI through the Architect / consultant their agents or employees may enter upon and take possession of the work and all plants, took scaffoldings, materials, sheds, machineries lying upon the premises or on the adjoining lands or roads use the same by means of their own employees or workmen in carrying on and completing the work or by engaging any other contractors or persons to the work and the contractor shall not in any way interrupt or do any act, matter or thing to prevent or hinder such other contractor or other persons employed for complement and finishing or using the materials and plant for the works.

When the works shall be completed or as soon thereafter as convenient the SBI or Architect / consultant shall give a notice in writing to the contractor to remove his surplus materials and plants and should the contractor fail to do so within 14 days after receiving thereof by him, the SBI shall sell the same after due publication, and

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will adjust the amount realized by such auction. The contractor shall have no right to question any of the act of the SBI incidental to the sale of the materials etc.

**35.0 Certificate of payment**

The contractor shall be entitled under the certificates to be issued by the Architect / consultant to the contractor within 10 working days from the date of certificate to payment from SBI from time to time. The SBI shall recover the statutory recovering other dues including the retention amount from the certificate of payment.

Provided always that the issue of any certificate by the Architect / consultant during progress of works or completion shall not have effect as certificate of satisfaction relieve the contractor from his liability under clause.

The Architect / consultant shall have power to withhold the certificate if the work or in part thereof is not carried out to their satisfaction.

The Architect / consultant may by any certificate make any corrections required previous certificate.

The SBI shall modify the certificate of payment as issued by the Architect / consultant from time to time while making the payment

The contractor shall submit interim bills only after taking actual measurements and properly recorded in the Measurement Book (M. B.)

The Contractor shall not submit interim bills when the approximate value of work done by him is less than **Rs. 30.00 Lakhs.**

The final bill may be submitted by contractor within a period of one month from the date of virtual completion and Architect / consultant shall issue the certificate of payment within a period of two months. The SBI shall pay the amount within a period of three months from the date of issue of certificate provided there is no dispute in respect of rates and quantities.

The contractor shall submit the interim bills in the prescribed format with all details.

**36.0 A. Settlement of Disputes and Arbitration**

Except where otherwise provided in the contract all questions and disputes to the meaning of the specifications, design, drawings and instructions herein before mentioned and as to the quality of workmanship or materials used on the work or as to any other question , claim, right, matter or thing whatsoever in any way arising out of or relating to the contract, designs, drawings specifications, estimates, instructions orders or these conditions or otherwise concerning the work or the execution or failure to execute the same whether arising during the progress of the work or after the cancellation, termination, completion or abandonment thereof shall be dealt with as mentioned hereinafter:

- i) If the contractor considers that he is entitled to any extra payment or compensation in respect of the works over and above the amounts admitted as payable by the Architect or in case the contractor wants to dispute the validity of any deductions or recoveries made or proposed to be made from the contract or raise any dispute, the contractor shall forthwith give notice in writing of his claim, or dispute to The Deputy General Manager(Premises), SBI Corporate Centre,9<sup>th</sup> floor, State Bank Bhavan, Madam Cama road, Mumbai-21 And endorse a copy of the same to the Architect,

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within 30 days from the date of disallowance thereof or the date of deduction or recovery. The said notice shall give full particulars of the claim, grounds on which it is based and detailed calculations of the amount claimed and the contractor shall not be entitled to raise any claim nor shall the SBI be in any way liable in respect of any claim by the contractor unless notice of such claim shall have been given by the contractor to The Deputy General Manager(Premises), SBI Corporate Centre in the manner and within the time as aforesaid. The Contractor shall be deemed to have waived and extinguished all his rights in respect of any claim not notified to The Deputy General Manager (Premises), SBI Corporate Centre in writing in the manner and within the time aforesaid.

### **B. Settlement of Disputes and Arbitration**

The Deputy General Manager (Premises), SBI Corporate Centre shall give his decision in writing on the claims notified by the contractor. The contractor may within 30 days of the receipt of the decision of The Deputy General Manager (Premises), SBI Corporate Centre submit his claims to the conciliating authority namely the General Manager (OL & CS), SBI Corporate Centre for conciliation along with all details and copies of correspondence exchanged between him and the Deputy General Manager (Premises), SBI corporate center.

- i) If the conciliation proceedings are terminated without settlement of the disputes, the contractor shall, within a period of 30 days of termination thereof shall give a notice to the Deputy Managing Director & CDO for appointment of an arbitrator to adjudicate the notified claims falling which the claims of the contractor shall be deemed to have been considered absolutely barred and waived.
- ii) Except where the decision has become final, binding and conclusive in terms of the contract, all disputes or differences arising out of the notified claims of the contractor as aforesaid, and all claims of the Bank shall be referred for adjudication through arbitration by the Sole Arbitrator appointed by the Deputy Managing Director & CDO. It will also be no objection to any such appointment that the Arbitrator so appointed is a Bank Officer and that he had to deal with the matters to which the Contract relates in the course of his duties as Bank Officer. If the arbitrator so appointed is unable or unwilling to act or resigns his appointment or vacates his office due to any reason whatsoever another sole arbitrator shall be appointed in the manner aforesaid by the said Deputy Managing Director & CDO of the SBI. Such person shall be entitled to proceed with the reference from the stage at which it was let by his predecessor.

It is a term of this contract that the party invoking arbitration shall give a list of disputes with amounts claimed in respect of each dispute along with the notice for appointment of arbitrator.

It is also a term of this contract that no person other than a person appointed by such Deputy Managing Director & CDO as aforesaid should act as arbitrator.

The conciliation and arbitration shall be conducted in accordance with the provisions of the Arbitration & Conciliation Act 1996 or any or any accordance modification or reenactment thereof and the rules made there under.

It is also a term of the contract that if any fees are payable to the Arbitrator these shall be paid equally by both the parties. However, no fees will be payable to the arbitrator if he is a Bank Officer.

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It is also a term of the contract that the Arbitrator shall be deemed to have entered on the reference on the date he issues notice to both the parties calling them to submit their statement of claims and counter statement of claims. The venue of the arbitration shall be such place as may be fixed by the arbitrator in his sole discretion. The fees, if any of the arbitrators shall, if required to be paid before the award is made and published, be paid half and half by each of the parties. The Cost of the reference and of the award (including the fees, if any of the arbitrator) shall be in the discretion of the arbitrator who may direct to any by whom and in what manner, such costs or any part thereof, shall be paid and fix or settle the amount of costs to be so paid.

**37.0 Water Supply**

The contractor shall make his own arrangements for water required for the work and nothing extra will be paid for the same. This will be subject to the following condition.

- i) That the water used by the contractor shall be fit for construction purposes to the satisfaction of the Architect / consultant's.
- ii) The contractor shall make alternative arrangements for the supply of water if the arrangement made by the contractor for procurement of water in the opinion of the Architect / consultant is unsatisfactory.

37.1 The contractor shall construct temporary well / tube well in SBI and for taking water for construction purposes only after obtaining permission in writing from the SBI. The contractor has to make his own arrangements for drawing and distributing the water at his own cost. He has to make necessary arrangements. To avoid any accidents or damages caused due to construction and subsequent maintenance of the wells. He has to obtain necessary approvals from local authorities, if required, at his own cost. He shall restore the ground to its original condition after wells are dismantled on completion of work or hand over the well to the SBI without any compensation as directed by the Architect / consultant.

37.2 If the contractor makes use of Bank's water connection or power connection (after obtaining due permission, an amount of 0.25% of the tendered amount/amount of final bill, whichever is higher will be deducted.

**38.0 Power Supply**

The contractor shall make his own arrangements for power and supply / distribution system for driving plant or machinery for the work and for lighting purpose.

**39.0 Treasure Trove etc.**

Any treasure trove, coin or object antique which may be found on the site shall be the property of SBI and shall be handed over to the bank immediately.

**40.0 Method of Measurement**

Unless otherwise mentioned in the schedule of quantities or in mode of measurement, the measurement will be on the net quantities or work produced in accordance with up-to-date rules laid down by the Bureau of Indian Standards. In the event any dispute / disagreement the decision of the Bank/Architect / consultant shall be final and binding on the contractor.

**41.0 Maintenance of Registers**

The contractor shall maintain the following registers as per the enclosed perform at site of work and should produce the same for inspection of SBI/Architect / consultant

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whenever desired by them. The contractor shall also maintain the records / registers as required by the local authorities / Govt. from time to time.

- i) Register for secured advance
- ii) Register for hindrance to work
- iii) Register for running account bill
- iv) Register for labour

#### 42.0 Force Majeure

42.1 Neither contractor nor SBI shall be considered in default in performance of the obligations if such performance is prevented or delayed by events such as but not war, hostilities revolution, riots, civil commotion, strikes, lockout, conflagrations, epidemics, accidents, fire, storms, floods, droughts, earthquakes or ordinances or any act of or for any other cause beyond the reasonable control of the party affected or prevents or delayed. However, a notice is required to be given within 30 days from the happening of the event with complete details, to the other party to the contract, if it is not possible to serve a notice, within the shortest possible period without delay.

42.2 As soon as the cause of force majeure has been removed the party whose ability perform its obligations has been affected, shall notify the other of such cessation and the actual delay incurred in such affected activity adducing necessary evidence in support thereof.

42.3 From the date of occurrence of a case of force majeure obligations of the party affected shall be suspended during the continuance of any inability so caused. With the caused itself and inability resulting there from having been removed, the agreed time completion of the respective obligations under this agreement shall stand extended a period equal to the period of delay occasioned by such events.

42.4 Should one or both parties be prevented from fulfilling the contractual obligations by state of force majeure lasting to a period of 6 months or more the two parties, shall each other to decide regarding the future execution of this agreement.

#### 43.0 Local laws, Acts Regulations:

The contractor shall strictly adhere to all prevailing labour laws inclusive at contract labour (regulation and abolition act of 1970) and other safety regulations. The contractors should comply with the provision of all labour legislation including the latest requirements of the Acts, laws, any other regulations that are applicable to the execution of the project.

- i) Minimum wages Act 1948 (Amended)
- ii) Payment of wages Act 1936 (Amended)
- iii) Workmen's compensation Act 1923 (Amended)
- iv) Contract labour regulation and abolition act 1970 and central rules 1971 (Amended)
- v) Apprentice act 1961 (amended)
- vi) Industrial employment (standing order) Act 1946 (Amended)
- vii) Personal injuries (Compensation insurance) act 1 963 and any other modifications
- viii) Employees' provident fund and miscellaneous provisions Act 1952 and amendment thereof
- ix) Shop and establishment act
- x) Any other act or enactment relating thereto, and rules framed there under from time to time.
- xi) Prevailing Indian Electricity rules & act.

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**44.0 Accidents**

The contractor shall immediately on occurrence of any accident at or about the site or in connection with the execution of the work report such accident to the Architect / consultant. The contractor shall also such report immediately to the competent authority whenever such report is required to be lodged by the law and take appropriate actions thereof.

## **SPECIAL CONDITION OF CONTRACT**

### **Scope of work**

1.0 The scope of work is to carry out for the Proposed Project are Civil & Interior Works

### **2.0 Address of site**

The site is located at State Bank of India First Floor, Madhuli Building, Worli, Mumbai.

### **3.0 Dimensions and levels**

All dimensions and levels shown on the drawings shall be verified by the contractor and the site and he will be held responsible for the accuracy and maintenance of. All the dimensions and the levels. Figured dimensions are in all cases to be accepted and dimension shall be scaled. Large scale details shall take precedence over small scale drawings. In case of discrepancy the contractor shall ask for clarification from the Architect / consultant before proceeding with the work.

### **4.0 Notice of operation**

The contractor shall not carry out any important operation without the Consent in with from the Architect / consultant:

### **5.0 Construction records**

The contractor shall keep and provide to the Architect / consultant full and accurate records of the dimensions and positions of all new work and any other information necessary to prepare complete drawings recording details of the work as construction.

### **6.0 Safety of adjacent structures and trees**

The contractor shall provide and erect to the approval of the Architect / consultant supports as may be required to protect effectively all structures and protective give to trees, which may be endangered by the execution of the works or otherwise such permanent measures as may be required by the Architect to protect the tree structures.

### **7.0 Temporary works.**

Before any temporary works are commenced the contractor shall submit at least in advance to the Architect / consultant for approval complete drawings of all temporary works he may require for the execution of the works. The contractor shall carry out the modifications relating to strength, if required by the Architect / consultant may require in accordance with the conditions of contract at his own cost the contractor shall be solely responsible for the stability and safety of all temporary works and unfinished works and for the quality of the permanent works resulting from the arrangement eventually adopted for their execution.



## 8.0 Water, Power and other facilities

- a) The rate quoted by the contractor shall include all expenses that are required for providing all the water required for the work and the contractor shall make his own arrangements for the supply of good quality water suitable for the construction and good quality drinking water for their workers. If necessary the contractor has to sink a tube well / open well and bring water by means of tankers at his own cost for the purpose. The SBI will not be liable to pay any charges in connection with the above.
- b) The rate quoted in the tender shall include the expenses for obtaining and maintaining power connections and shall pay for the consumption charges as instructed.
- c) The contractors for other trades directly appointed by the SBI shall be entitled to take power and water connections from the temporary water and power supply obtained by the contractor. However, the concerned contractor shall make their own arrangements to draw the supply and pay directly the actual consumption charges at mutually agreed rates between them. All municipal charges for drainage and water connection for Construction purposes shall be borne by the contractor and charges payable for permanent connections, if any, shall be initially paid by the contractor and the SBI will reimburse the amount on production of receipts.
- d) The SBI as well as the Architect / consultant shall give all possible assistance to the Contractor's to obtain the requisite permission from the various authorities, but the responsibility for obtaining the same in time shall be of the contractor.
- e) If the contractor makes use of Bank's water connection or power connection (after obtaining due permission, an amount of 0.25% of the tendered amount/amount of final bill, whichever is higher will be deducted.

## 9.0 Facilities for contractor's employees

The contractor shall make his own arrangement for the housing and welfare of his staff and workmen including adequate drinking water facilities. The contractor shall also make the arrangements at his own cost for transport where necessary for his staff and workmen to and from site of work at his own cost.

## 10.0 Lighting of works

The contractor shall at all times provide adequate and approved lighting as required for the proper execution and supervision and inspection of work.

## 11.0 Firefighting arrangements

- i) The contractor shall provide suitable arrangement for firefighting at his own cost. This purpose he shall provide requisite number of fire extinguishers and adequate number of buckets, some of which are to be always kept filled with sand and some with water. This equipment shall be provided at suitable prominent and easily accessible place and shall be properly maintained.
- ii) Any deficiency in the fire safety or unsafe conditions shall be corrected by the contractor at his own cost and, to the approval of the relevant authorities. The contractor makes the following arrangements at his own cost but not limited to the following:

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- a) Proper handling, storage and disposal of combustible materials and waste.
- b) Work operations which can create fire hazards.
- c) Access for fire-fighting equipment.
- d) Type, number and location of containers for the removal of surplus materials and rubbish.
- e) Type, size, number and location of fire extinguishers or other fire fighting equipment.
- f) General house keeping

**12.0 Site order book**

A site order book shall be maintained at site for the purpose of quick communication between the Architect / Consultant. Any communication relating to the work may be conveyed through records in the site order book. Such a communication from one party to the other shall be deemed to have been adequately served in terms of contract. Each site order book shall have machine numbered pages in triplicate and shall be carefully maintained and preserved by the contractor and shall be made available to the Architect / consultant as and when demanded. Any instruction which the Architect / consultant may like to issue to the contractor or the contractor may like to bring to the Architect / consultant two copies of such instructions shall be taken from the site order book and one copy will be handed over to the party against proper acknowledgment and the second copy will be retained for their record.

**13.0 Temporary fencing/ barricading**

The contractor shall provide and maintain a suitable temporary fencing / barricading and gates at his cost to adequately enclose all boundaries of the site for the protection of the public and for the proper execution and security of the work and in accordance with the requirement of the Architect / consultant and regulations of local authorities. These shall be altered, relocated and adopted from time to time as necessary and removed on completion of the work.

**14.0 Site meetings**

Site meetings will be held to review the progress and quality evaluation. The contractor shall depute a senior representative along with the site representative and other staff of approved sub-contractors and suppliers as required to the site meetings and ensure all follow up actions. Any additional review meetings shall be held if required by the Architect/ consultant. -

**15.0 Disposal of refuse**

The contractor shall cart away all debris, refuse etc. arising from the work from the site and deposit the same as directed by the Architect / consultant at his own cost. It is the responsibility of the contractor to obtain from the local authorities concerned to the effect that all rubbish arising out of contractor's activities at the construction site or any other off-site activities borrow pits has been properly disposed of.

**16.0 Contractor to verify site measurement**

The contractor shall check and verify all site measurements whenever requested other specialist contractors or other sub-contractors to enable them to prepare the

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own shop drawing and pass on the information with sufficient promptness as will in any way delay the works.

**17.0 Displaying the name of the work**

The contractor shall put up a name board of suitable size as directed by the Architect/consultant indicating therein the name of the project and other details as given by the Architect/consultant at his own cost and remove the same on completion of work.

**18.0 As built drawings**

i) For the drawings issued to the contractor by the Architect / Consultant. The Architect Consultant will issue two sets of drawings to the Contractor for the items for some changes have been made. From the approved drawings as instructed by the SBI / Architect / Consultant. The contractor will make the changes made on these copies and return these copies to the Architect / Consultant for their approval. In cases revision is required or the corrections are not properly marked the Architect / Consultant will point out the discrepancies to the contractor. The contractor will have to incorporate these corrections and / or attend to discrepancies either on copies as directed by the Architect / consultant and resubmit to him for approval. The Architect / consultant will return one copy duly approved by him.

ii) For the drawings prepared by the contractor

The contractor will modify the drawing prepared by him wherever the changes made by the SBI / Architect / Consultant and submit two copies of such modified drawings to the Architect / Consultant for approval. The Architect / consultant will return one copy of the approved drawing to the contractor.

**19.0 Approved make**

The contractor shall provide all materials from the list of approved makes at his own cost and also appoint the specialized agency for the waterproofing anti-termite, aluminum doors and windows and any other item as specified in the tender. The Architect / Consultant may approve any make / agency within the approved list as given in the tender after inspection of the sample/mockup.

**20.0 Procurement of materials**

The contractor shall make his own arrangements to procure all the required materials for the work. All wastages and losses in weight shall be to the contractor's account

**21.0 Excise Duty, Taxes, Levies etc.;**

The contractor shall pay and be responsible for payment of all taxes, duties, levies, royalties, fees, cess or charges in respect of the works including but not limited to sales tax, tax on works contract excise duty, and octroi, payable in respect of materials, equipment plant and other things required for the contract. All of the aforesaid taxes, duties, levies, fees and charges shall be to the contractor's account and the SBI shall not be required to pay any additional or extra amount on this account. Variation of taxes, duties, fees, levies etc. if any, till completion of work shall be deemed to be included in the quoted rates and no extra amount on this account. Variation of taxes, duties, fees, levies etc. if any, till completion of work shall be deemed to be included in the quoted rates and no extra claim on this account will in any case be entertained. If a new tax or duty or levy or cess or royalty or octroi is imposed under as statutory law during the currency of contract the same shall be borne by the contractor.

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## 22.0 Acceptance of tender

The SBI shall have the right to reject any or all tenders without assigning any reason. They are not to bind to accept the lowest or any tender and the tenderer or tenderers shall have no right to question the acts of the SBI. However adequate transparency would be maintained by the SBI

## 23.0 Photographs:

- The Contractor shall at his own expense supply to the Bank/Architects with duplicate hard copies of large photographs not less than 25 cm. x 20 cm. (10" x 8") of the works, taken from two approved portions of each building, at intervals of not more than one month during the progress of the work or at every important stage of construction.
- In addition to above, the contractor shall be bound to submit adequate no. of site photographs along with each Running Bill for the project clearing showing major progress of work measured and claimed therein failing which the Architect/ SBI may consider returning the Bill to the contractor and no claim for delay on this account will be entertained.

### SAFETY CODE

1. First aid appliances including adequate supply of sterilized dressing and cotton wool shall be kept in a readily accessible place.
2. An injured person shall be taken to a public hospital without loss of time, in cases when the injury necessitates hospitalization.
3. Suitable and strong scaffolds should be provided for workmen for all works that cannot safely be done from the ground.
4. No portable single ladder shall be over 8 meters in length. The width between the side rails shall not be less than 30 cm. (clear) and the distance between two adjacent rungs shall not be more than 30 cm. When a ladder is used an extra handrail shall be engaged for holding ladder.
5. The excavated material shall not be placed within 1.5 meters of the edge of the trench half of the depth of trench whichever is more. All trenches and excavations shall be provided with necessary fencing and lighting.
6. Every opening in the floor of a building or in a working platform be provided with suitable means to prevent the fall of persons or materials by providing suitable fencing or railing whose minimum height shall be one meter.
7. No floor, roof or other part of the structure shall be so overloaded with debris or material as to render it unsafe.
8. Workers employed on mixing and handling material such as asphalt, cement, mortar, concrete and lime shall be provided with protective footwear and rubber hand gloves.
9. Those engaged in welding works shall be provided with welders' protective eye shield and gloves.
10. (i) No paint containing lead or lead products shall be used except in the form of paste readymade paint.  
(ii) Suitable facemasks should be supplied for use by the workers when the paint applied in the form of spray or surface having lead paint dry rubbed and scrapped.
11. Overalls shall be supplied by the contractor to the painters and adequate facilities shall be provided to enable the working painters to wash during cessation of work.
12. Hoisting machines and tackle used in the works including their attachments anchor and supports shall be in perfect condition.
13. The ropes used in hoisting or lowering material or as a means of suspension shall be durable quality and adequate strength and free from defects.

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**ARTICLES OF AGREEMENT**

(On non-judicial Stamp Paper of ₹ 500/- or as per latest Govt. Rules)

ARTICLES OF AGREEMENT made the \_\_\_\_\_ date of \_\_\_\_\_ between State Bank of India, having its office at Mumbai hereinafter called "the Employer" of the One Part and

\_\_\_\_\_

WHEREAS the SBI. is desirous of

\_\_\_\_\_

\_\_\_\_\_ and has caused specifications describing the work to be done to be prepared by SBI.

AND WHEREAS the said Drawings numbered \_\_\_\_\_ to \_\_\_\_\_ inclusive, the Specifications and the Schedule of Quantities have been signed by or on behalf of the parties hereto.

AND WHEREAS the Contractor has agreed to execute upon and subject to the Conditions set forth herein and to the Conditions set forth herein in the Special Conditions and in the Schedule of Quantities and Conditions of Contract (all of which are collectively hereinafter referred to as "the said conditions") the works shown upon the said Drawings and / or described in the said Specifications and included in the Schedule of Quantities at the respective rates therein set forth amounting to the sum as therein arrived at our such other sum as shall become payable there under (hereinafter referred to as "the said Contract Amount.)

NOW IT IS HEREBY AGREED AS FOLLOWS:

- 1) In consideration of the said Contract Amount to be paid at the times and in the manner set forth in the said Conditions, the Contractor shall upon and subject to the said Conditions execute and complete the work shown upon the said Drawings and described in the said Specifications and the priced Schedule of Quantities.
- 2) The Employer shall pay to the Contractor the said Contract Amount, or such other sum as shall become payable, at the times and in the manner specified in the said Conditions.
- 3) The term "The Architects" in the said Conditions shall mean the SBI, or in the event of their ceasing to be the Architects for the purpose of this Contract for whatever reason, such other person or persons as shall be nominated for that purpose by the Employer, not being a person to whom the Contractor shall object for reasons considered to be sufficient by the Employer, PROVIDED ALWAYS that no person or persons subsequently appointed to be Architects under this Contract shall be entitled to disregard or overrule any previous decisions or approval or direction given or expressed in writing by the outgoing Architects for the time being.

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- 4) The said Conditions and Appendix thereto shall be read and construed as forming part of this Agreement, and the parties hereto shall respectively abide by submit themselves to the said Conditions and perform the Agreements on their part respectively in the said Conditions contained.
- 5) The Plans, Agreements and Documents mentioned herein shall form the basis of this Contract.
- 6) This Contract is neither a fixed lump-sum contract nor a piece work contract but a contract to carry out the work in respect of the entire building complex to be paid for according to actual measured quantities at the rates contained in the Schedule of Quantities and Rates or as provided in the said Conditions.
- 7) The Contractor shall afford every reasonable facility for the carrying out of all works relating to civil works, installation of lifts, Telephone, electrical installations, fittings air-conditioning and other ancillary works in the manner laid down in the said Conditions, and shall make good any damages done to walls, floors, etc. after the completion of his work.
- 8) The SBI reserves to itself the right of altering the drawings and nature of the work by adding to or omitting any items of work or having portions of the same carried out without prejudice to this Contract.
- 9) Time shall be considered as the essence of this Contract and the Contractor hereby agrees to commence the work soon after the Site is handed over to him or from 14<sup>th</sup> day after the date of issue of formal work order as provided for in the said Conditions whichever is later and to complete the entire work within **90 days** subject to nevertheless the provisions for extension of time.
- 10) All payments by the SBI under this Contract will be made only at Mumbai.
- 11) All disputes arising out of or in any way connected with this Agreement shall be deemed to have arisen at Mumbai and only the Courts in Mumbai shall have jurisdiction to determine the same.
- 12) That the several parts of this Contract have been read by the Contractor and fully understood by the Contractor.

WHEREOF THE SBI and the Contractor have set their respective hands to these presents and two duplicates hereof the day and year first hereinabove written.

SIGNATURE CLAUSE

SIGNED AND DELIVERED by the

\_\_\_\_\_ By the

Signature of Contractor with Seal

(Employer)

hand of Shri \_\_\_\_\_

\_\_\_\_\_  
(Name and Designation)

(Signature of Employer)

In the presence of:

1) Shri / Smt. \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_  
(Witness)

(Signature of Witness)

SIGNED AND DELIVERED by the

\_\_\_\_\_ by the

(Contractor)

In the presence of:

Shri / Smt. \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_  
(Witness)

(Signature of Contractors)

(Signature of Witness)

**(A) Contact Information**

<b>E-Procurement Technologies Ltd.</b>	<b>State Bank of India</b>
<p>B-704, Wall Street - II, Opp. Orient Club, Nr. Gujarat College, Ahmedabad - 380 006. Gujarat State, India</p> <p>Tel.: +91 79 61200 579   580   567   569   566</p> <p>Mr.Samjad Khan E-mail : samjad@auctiontiger.net Contact No : 9879996111 /9265871720</p>	<p>1) The Deputy General Manager (Premises), State Bank of India, Corporate Centre, 9<sup>th</sup> Floor, State Bank Bhavan, Nariman Point, Mumbai-400 021</p> <p>Officer Name: Mr. Rahul Parwate, Chief Manager (Civil)</p> <p>Department: Premises</p> <p>Contact No: 022 -22740906, 9717462906 E-mail: <a href="mailto:rahul.parvate@sbi.co.in">rahul.parvate@sbi.co.in</a>; <a href="mailto:dgmpremises.cc@sbi.co.in">dgmpremises.cc@sbi.co.in</a></p>



**(B) SAMPLE BUSINESS RULE DOCUMENT**

**ONLINE E-TENDERING FOR PROPOSED CIVIL & INTERIOR WORKS FOR  
AUDITORIUM OF STATE BANK OF INDIA AT SB BHAVAN, MADAME CAMA ROAD,  
NARIMAN POINT, MUMBAI.**

**(a) Business rules for E-tendering:**

1. Only empaneled contractors with SBI under appropriate category who are invited by the project Architect/SBI shall only be eligible to participate.
2. SBI will engage the services of an e-tendering service provider who will provide necessary training and assistance before commencement of online bidding on Internet.
3. In case of e-tendering, SBI will inform the vendor in writing, the details of service provider to enable them to contact and get trained.
4. Business rules like event date, closing and opening time etc. also will be communicated through service provider for compliance.
5. Contractors have to send by email, the compliance form in the prescribed format (provided by service provider), before start of E-tendering. Without this the vendor will not be eligible to participate in the event.
6. The Contractors will be required to submit the various documents in sealed Envelope to the office of SBI .at the address mentioned hereinbefore by the stipulated date i.e. (1) Hard Copy of Technical Bid duly signed and stamped on each page (2) Demand Draft of specified amount of EMD. Contractors not submitting any one or more documents shall not be eligible to participate in the on-line price bidding.
7. E-tendering will be conducted on schedule date & time.
8. **The e-tendering will be treated as closed only when the bidding process gets closed in all respects for the item listed in the tender.**

**(b) Terms & conditions of E-tendering:**

SBI shall finalize the Tender through e-tendering mode for which M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL). has been engaged by SBI an authorized service provider. Please go through the guidelines given below and submit your acceptance to the same along with your Commercial Bid.

1. E-tendering shall be conducted by SBI through M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL)., on pre-specified date. While the Contractors shall be quoting from their own offices/ place of their choice, Internet connectivity and other paraphernalia requirements shall have to be ensured by Contractors themselves. In the event of failure of their Internet connectivity, (due to any reason whatsoever it may be) it is the bidders' responsibility. In order to ward-off such contingent situation bidders are requested to make all the necessary arrangements/ alternatives such as back-up power supply whatever required so that they are able to circumvent such situation and still be able to participate in the E-tendering successfully. Failure of

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power at the premises of Contractors during the E-tendering cannot be the cause for not participating in the E-tendering. On account of this the time for the E-tendering cannot be extended and SBI is not responsible for such eventualities.

2. M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL)., shall arrange to train your nominated person(s), without any cost to you. They shall also explain you all the Rules related to the E-tendering. You are required to give your compliance on it before start of bid process.
3. BIDDING CURRENCY AND UNIT OF MEASUREMENT: Bidding will be conducted in Indian currency & Unit of Measurement will be displayed in Online E-tendering.
4. BID PRICE: The Bidder has to quote the rate as per the Tender Document provided by SBI their appointed Architects.
5. VALIDITY OF BIDS: The Bid price shall be firm for a period specified in the tender document and shall not be subjected to any change whatsoever.
6. Procedure of E-tendering:
  - i. **Online E-tendering:**
    - (a) The NIT & Technical bid available on the e-tender's service provider website during the period specified in the NIT.
    - (b) Online e-tendering is open to the empaneled bidders who receive NIT from the Architect and qualified for participating in the price bidding as provisions mentioned hereinabove through SBI approved Service Provider.
    - (c) The Price-Bid shall be made available online by the Service Provider wherein the contractors will be required to fill-in their Item-wise rates for each item.
    - (d) The Contractors are advised not to wait till the last minute to submit their online item-wise quote in the price bid to avoid complications related with internet connectivity, network problems, system crash down, power failure, etc.
    - (e) It is mandatory to all the bidders participating in the price bid to quote their rates for each and every item.
    - (f) In case, contractor fails to quote their rates for any one or more tender items, their tender shall be treated as **"Incomplete Tender"** and shall be liable for rejection.
7. LOG IN NAME & PASSWORD: Each Bidder is assigned a Unique Username & Password by M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL). The Bidders are requested to change the Password after the receipt of initial Password from M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL). All bids made from the Login ID given to the bidder will be deemed to have been made by the bidder.
8. BIDS PLACED BY BIDDER: Bids will be taken as an offer to execute the work as specified. Bids once made, cannot be cancelled / withdrawn and the Bidder shall be bound to execute the work at the quoted bid price. In case the L-1 Bidder backs out or fail to complete the work as per the rates quoted, SBI shall at liberty to take action as deemed necessary including de-paneling such contractors and forfeiting their EMD.

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9. At the end of the E-tendering, SBI will decide upon the winner. SBI decision on award of Contract shall be final and binding on all the Bidders.
10. SBI shall be at liberty to cancel the E-tendering process / tender at any time, before ordering, without assigning any reason.
11. SBI shall not have any liability to bidders for any interruption or delay in access to the site irrespective of the cause.
12. Other terms and conditions shall be as per your techno-commercial offers and other correspondences till date.

13. OTHER TERMS & CONDITIONS:

- The Bidder shall not involve himself or any of his representatives in Price manipulation of any kind directly or indirectly by communicating with other suppliers / bidder.
- The Bidder shall not divulge either his Bids or any other exclusive details of SBI to any other party.
- SBI decision on award of Contract shall be final and binding on all the Bidder.
- SBI reserve their rights to extend, reschedule or cancel any E-tendering within its sole discretion.
- SBI or its authorized service provider M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL) shall not have any liability to Bidders for any interruption or delay in access to the site irrespective of the cause.
- SBI or its authorized service provider/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL) is not responsible for any damages, including damages that result from, but are not limited to negligence.
- SBI or its authorized service M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL) will not be held responsible for consequential damages, including but not limited to systems problems, inability to use the system, loss of electronic information etc.

N.B.

- All the Bidders are required to submit the Process Compliance Statement (Annexure II) duly signed to M/s. E-Procurement Technologies Ltd, Ahmedabad (EPTL).
- **All the bidders are requested to ensure that they have a valid digital signature certificate well in advance to participate in the online event.**

**SIGNATURE OF THE CONTRACTOR WITH SEAL**

Signature of Contractor with Seal

**(C) Process Compliance Statement (Annexure II)**

(The bidders are required to print this on their company's letter head and sign, stamp before emailing)

To,  
E-Procurement Technologies Ltd. (Auction Tiger)  
B-704 Wall Street - II,  
Opp. Orient Club,  
Nr. Gujarat College, Ahmedabad - 380 006.  
Gujarat State, India

**TENDER FOR PROPOSED CIVIL & INTERIOR WORKS FOR AUDITORIUM OF STATE BANK OF INDIA AT SB BHAVAN, MADAME CAMA ROAD, NARIMAN POINT, MUMBAI.**

**Dear Sir,**

This has reference to the Terms & Conditions for the Reverse Auction mentioned in the Tender document

**This letter is to confirm that:**

- 1) The undersigned is authorized representative of the company.
- 2) We have studied the Commercial Terms and the Business rules governing the e-Tendering as mentioned in RFP of SBI as well as this document and confirm our agreement to them.
- 3) We also confirm that we have taken the training on the auction tool and have understood the functionality of the same thoroughly.
- 4) We confirm that SBI and ETL shall not be liable & responsible in any manner whatsoever for my/our failure to access & bid on the e-auction platform due to loss of internet connectivity, electricity failure, virus attack, problems with the PC, any other unforeseen circumstances etc. before or during the tendering event.
- 5) **We also confirm that we have a valid digital signature certificate issued by a valid Certifying Authority.**
- 6) We also confirm that we will mail the price confirmation / break up of our quoted price as per Annexure III & Annexure IV within 24 hours of the completion of the bid/ reverse auction and the format as requested by SBI/ETL.
- 7) We, hereby confirm that we will honor the Bids placed by us during the E-tendering/ auction process.

With regards,

Date:

Signature with company seal

Name:

Company / Organization:

Designation within Company / Organization:

Address of Company / Organization:

Scan it and send to this Document on [allocation@eptl.com](mailto:allocation@eptl.com)

Signature of Contractor with Seal

**(D) Price Confirmation Letter (Annexure III)**

*(The bidders are required to print this on their company's letter head and sign, stamp before emailing)*

To,  
E-Procurement Technologies Ltd. (Auction Tiger)  
B-704, Wall Street - II,  
Opp. Orient Club,  
Nr. Gujarat College, Ahmedabad - 380 006.  
Gujarat State, India

Sub: **Final Price Quoted During E-tendering for Proposed Civil & Interior Works for State Bank of India at First Floor, Madhuli Building, Worli, Mumbai.**

Online Price Bid Date:

Dear Sir,

We confirm that we have quoted.

-----

Thanking you and looking forward to the valuable order from SBI.

Yours sincerely,

For \_\_\_\_\_

Name:

Company:

Date:

Seal:

Scan it and send to this Document on [samjad@procuretiger.com](mailto:samjad@procuretiger.com)

**(E) Price break up (Annexure IV)**

Detailed Price Break up as per tender document

Signature of Contractor with Seal

**APPENDIX HEREINBEFORE REFERRED TO**

- 1) Name of the organization Offering Contract : The Deputy General Manager (Premises), State Bank of India, Corporate Centre, 9th floor, State Bank Bhavan, Nariman Point, Mumbai-400 021
- 2) Consultants : NA.
- 3) Site Address : State Bank of India at First Floor, Madhuli Building, Worli, Mumbai.
- 4) Scope of Work : Civil, Interior & Allied Works
- 5) Name of the Contractor: -----  
-----  
-----
- 6) Address of the Contractor : -----  
-----  
-----
- 7) Period of Completion : 90 days (3 months) from the date of Commencement
- 8) Earnest Money Deposit: **Rs. 3,26,000/- (Rupees Three Lakhs Twenty Six Thousand Only)**  
By means of Demand Draft / Pay Order (Valid for a period of 90 Days from the last date of submission of the tender) from any scheduled Nationalized Bank drawn in favour of State Bank of India payable at Mumbai.
- 9) Retention Money : As per relevant clause of general Conditions of contract.
- 10) Defects Liability Period : 12 Months from the date of Virtual Completion
- 11) Insurance to be undertaken by the Contractor at his cost : 125% of Contract Value (Contractor's all risk policy)
- 12) Liquidated damages : 0.5% of the Contract amount shown in the tender per week subject to max. 5% of the contract value or actual final bill value.
- 13) Value of Interim Bill (Min.) : **Rs. 30.00 Lakhs.**
- 14) Date of Commencement : 7 days from the date of acceptance letter is issued to the Contractor/ or the day on which the Contractor is instructed to take possession of the site whichever is earlier.
- 15) Period of Final Measurement : 2 Months from the date of Virtual Completion.

Signature of Contractor with Seal

- 16) Initial Security Deposit : 2% of the Accepted Value of the Tender.  
(Refer relevant Clause of tender)
- 17) Total Security Deposit : As per clause No. 11 a
- 18) Refund of initial Security Deposit  
Comprising of EMD and ISD. : 50% of the Security Deposit shall be refunded  
to the Contractor on completion of the work and  
balance refunded only after the Defect Liability  
Period is over.
- 19) Period for Honoring Certificate : 1. One Month for R.A. Bills  
2. The final bill will be submitted by the  
Contractor within one month of the date fixed  
for completion work and the Bill shall be  
Certified within 3 months from the date of  
receipt of final bill provided the bills are  
submitted with all pre-requisite  
documents/test reports etc. prescribed in the  
tender.

\_\_\_\_\_  
Signature of Tenderer.  
Date:

Signature of Contractor with Seal

**INDEX**  
**PROFORMAS OF VARIOUS TESTS**

<b>TABLE NO.</b>	<b>DESCRIPTION</b>	<b>PAGE NO.</b>
1.	Record of Cement/Received/Used/Balance.	
2.	Proforma of Paint/Lead/CICO Register.	
3.	Bank for Reinforcement Bars Received.	
4.	Proforma for Register of Material of Site Account.	
5.	Proforma for Account of Secured Advance Register.	
6.	Proforma for Bulkage Test of Sand Register.	
7.	Proforma for Silt Test Register.	
8.	Proforma for Sieve Analysis of Fine Aggregate Register.	
9.	Proforma for Sieve Analysis of Coarse Aggregate Register.	
10.	Proforma for Slump Test Register.	
11.	Proforma of Cube Test Register.	
12.	Proforma for Hindrance to Work.	
13.	Proforma for Running A/c. Bill.	
14.	Account of Secured Advance if Admissible on Materials Held at Site by the Contractors	
15.	Memorandum for Payment.	

Signature of Contractor with Seal



TABLE-I

**RECORD OF CEMENT RECEIVED / USED / BALANCE**

S. No.	Cement in stock Bags	Cement received (Bags)	Total Cement received (Bags)	Source from which received	Description of work where cement is used	Number of cement bags consumed	Balance in stock	Signature of Contractors Bank / Engineer
1	2	3	4	5	6	7	8	9

Signature of Contractor with Seal

**RECORD OF PAINT / LEAD / CICO REGISTER**

Name of work :

Name of the Contractor :

Agreement No. :

Date of Receipt	Source Receipt with Ref. To S.O./In dent	Qty. Received	Progressive Total	Item of work for which issued with approx. qty. work done in case of paint only	Date of issues	Quantity issued	Qty. returned at the end of the day	Total issued	Delay Balance at hand	Contractors initials	Site Engineers initials	Signature of Banks/ Architect
1	2	3	4	5	6	7	8	9	10	11	12	13

Register for bitumen should be maintained. The format will be similar to that for cement.

Signature of Contractor with Seal

TABLE-III

**BANK FOR REINFORCEMENT BARS RECEIVED**

Truck No.	Challan No.	Name of Supplier	Binding Wire	6mm dia.	8mm dia.	12mm dia.	16mm dia.	20mm dia.	25mm dia.	Total Received
1	2	3	4	5	6	7	8	9	10	11

Number of diameters given is only illustrative. Open more columns for other diameters wherever needed.

Signature of Contractor with Seal

**PROFORMA FOR REGISTER OF MATERIAL AT SITE ACCOUNT**

Name of Work : Name of Article :  
 Name of Contractor : Estimated Requirement :  
 Agreement No. : Issue Rate :

Date of Receipt	Received from/Issued to (with Ret. to So/Indent)	Receipt	Issue	Balance	Initials of Contractor	Initial of Bank's/Architect's representative	Remark
1	2	3	4	5	6	7	8

Signature of Contractor with Seal

**PROFORMA FOR REGISTER OF MATERIAL AT SITE ACCOUNT**

Name of Work :

Name of Contractor :

Agreement No. :

Description of Material	Qty.outstanding from previous Bill	Deduct Qty.utilised in works measured since previous bill	Qty.outstanding & Qty.brought to site since previous bill	Signature of Site Engineer	Signature of Contractor	Initial of Bank's/ Architect's representative	Remark
1	2	3	4	5	6	7	8

Signature of Contractor with Seal

**PROFORMA FOR BULKAGE TEST OF SAND REGISTER**

Sr. .No.	Date of Test	Volume of dust sand in Cylinder inundated & stirred	Volume inundated Sand in Cylinder	Percentage of Bulkage	Signature of Site Engineer	Signature of Contractor	Initial of Bank's Architect's representative (Periodical)
1	2	3	4	5	6	7	8

Signature of Contractor with Seal

**PROFORMA OF SILT TEST REGISTER**

Sr. No.	Date of Test	Height of Sand in Cylinder inundated & stirred	Height of Silt	Max percentage of silt as specified	Percentage of silt obtained	Signature of Site Engineer	Signature of Contractor	Initial of Bank's / Representative (Periodical)
1	2	3	4	5	6	7	8	9

Signature of Contractor with Seal

TABLE-VIII

**PROFORMA SIEVE ANALYSIS OF FINE AGGREGATE REGISTER**

Sr. No	Date of Test	Wt. of Material to be tested	Sieve as per I.S. designation	Wt. of Sand retained in sieve	%a retained in each sieve successively	Cumulative % retained in each sieve	F.M.	Signature of Site Engineer	Signature of Contractor	Signature of Banks/ Architect's representative & Remarks (Periodical)

Signature of Contractor with Seal



**PROFORMA OF SIEVE ANALYSIS OF COARSE AGGREGATE REGISTER**

S. No.	Date of Testing	Wt. of Material to be tested	Nominal size of Aggregate	I.S. Sieve designation	Standard passing for graded aggregate. of nominal size	Test Result	Obtained passing	Signature of Site Engineer	Signature of Contractor	Signature of Banks/ Architect's representative & Remarks (Periodical)
1	2	3	4	5	6	7	8	9	10	11

Signature of Contractor with Seal

TABLE-X

**PROFORMA FOR SLUMP TEST REGISTER**

Sr. No	Date of Testing	Type of work for which slump taken	Specified slump		Slump Obtained		Signature of Site Engineer	Signature of Contractor	Signature of Banks/ Architect's representative & Remarks (Periodical)
			When Vibrators are used	When Vibrators are not used	When Vibrators are used	When Vibrators are not used			
1	2	3	4	5	6	7	8	9	10

Signature of Contractor with Seal

TABLE-XI

**PROFORMA OF CUBE TEST REGISTER**

Date of taking Cube + Lime	Sample No.	No. of Cubes taken	Specific marking of Cubes	Proportion of mixture	Description of work carried out	Signature of Engineer taking sample	Signature of Contractor	7/28 Days Testing				Permissible Compressive strength of Concrete / 28 Days / 7 days		Remarks on Test Report and No.	Remarks of Banks/ Architects representative Periodicals
								Date of Test	Test Result Kg/ Sq.cm	Av. Strength Kg. / Sq.cm.	Standard strength Kg / Sq.cm.	7 Days	28 Days		
1	2	3	4	5	6	7	8	9	10	11	12	13		14	15

Signature of Contractor with Seal

**PROFORMA FOR HINDRANCE TO WORK**

Name of Work : Date of Start of work :  
 Name of Contractor : Period of Completion :  
 Agreement No. : Dt. of Completion of work :

S.No.	Nature of Hindrance	Date of Occurrence of Hindrance	Date of which Hindrance was removed	Period of which Hindrance existed	Signature of Site Engineer	Signature of Bank / Architects Representative
1	2	3	4	5	6	7

Signature of Contractor with Seal

**PROFORMA FOR RUNNING A/C BILL**

- i. Name of Contractor / Agency :
- ii. Name of Work :
- iii. Sl.No. of this Bill :
- iv. No. & Date of previous Bill :
- v. Reference to Agreement No. :
- vi. Date of Written order to commence :
- vii. Date of Completion as per Agreement :

S.No.	Item Description	Unit	Rate (₹)	As per Tender	
				Quantity	Amount (₹)
1	2	3	4	5	

Upto Previous R.A. Bill		Up Date (Gross		Present Bill		Remarks
Quantity	Amount (₹)	Quantity	Amount (₹)	Quantity	Amount (₹)	
6		7		8		9

- Note: 1. If part rate is allowed for any items, it should be indicated with reasons for allowing such a rate.
2. If ad-hoc payment is made, it should be mentioned specifically.

\_\_\_\_\_

\_\_\_\_\_

Net Value since previous bill

Signature of Contractor with Seal

**CERTIFICATE**

The measurements on the basis of which the above entries for the Running Bill No. ----- were made have been taken jointly on ----- and are recorded at pages ----- to ----- of measurement book No. --- -----.

-----  
Signature and  
date of Contractor

-----  
Signature and  
date of Architects  
Representative (Seal)

-----  
Signature and  
date of Site Engineer

The work recorded in the above-mentioned measurements has been done at the site satisfactorily as per tender drawings, conditions and specifications.

-----  
Architect

-----  
Signature and  
date of Site Engineer

Signature of Contractor with Seal

**ACCOUNT OF SECURED ADVANCE, IF ADMISSIBLE ON  
MATERIALS HELD AT SITE BY THE CONTRACTOR**

S. No.	Item	Quantity	Unit	Amount	Remarks
1	2	3	4	5	6

Total value of materials at Site.

Secured Advance @ ----- of above value - B

CERTIFIED:

- (i) That the materials mentioned above have actually been brought by the Contractor to the site of the work and on advance on any quantity of any of this item is outstanding on their security.
- (ii) That the materials (are of imperishable nature) and are all required by the Contractor for use in the work in connection with the items for which rates of finished work have been agreed upon.

Dated Signature of  
Site Engineer  
Preparing the bill  
Rank -----

Date signature of  
Banks Architects-----  
(Name of the Architects)

-----  
Dated Signature of  
the Contractor

Signature of Contractor with Seal

**MEMORANDUM FOR PAYMENT**

R/A BILL NO.

1.	Total value of work done since previous bill (A)	₹ -----
2.	Total amount of secured advance due since Previous Bill (B)	₹ -----
3.	Total amount due since Previous Bill (C) (A+B)	₹ -----
4.	PVA on account of declaration in price of Steel, Cement and other materials and labour as detailed in separate statements enclosed.	₹ -----
5.	Total amount due to the Contractor	₹ -----

**OBJECTIONS:**

i)	Secured Advance paid in the previous R/A	₹ -----
ii)	Retention money on value of works as per accepted tenders upto date amount ₹	₹ -----
	Less already recovered	₹ -----
	Balance to be recovered	₹ -----
iii)	Mobilization Advance, if any	
(a)	Outstanding amount (principal + interest) as on date	₹ -----
(b)	To be recovered in this bill	₹ -----
iii.	Any other Departmental materials cost to be recovered as per contract, if any	₹ -----
iv.	Any other Departmental service charges to be recovered if any, as per contract (water, power etc.) enclose statement.	₹ -----
	Total Deduction as per contract (F)	₹ -----
	Adjustments, if any ----- Amount less received by Contractor in	₹ -----

Signature of Contractor with Seal



----- R/A Bill (as per statement of Contractor)

P.V.A. ₹ -----

Total amount payable as per contract (E+F+G) ₹ -----

(Rupees ----- in words)

The bill amount to ₹ ----- (both figures and words) has been scrutinized by us after due checking of the measurements of work as required and is recommended for payment.

Date: -----

-----  
Signature of Architect  
with Seal

The bill amount to ₹ ----- certified by Consultants has been scrutinized by me after due test checking of measurements of works as required and is recommended for payment for an amount of ₹.....

Date : -----

Signature of Owners  
Engineer

**STATUTORY DEDUCTION:**

i)	Total Amount due (E)	₹ -----
ii)	Less I.T. Payable	₹ -----
iii)	Less S.T. Payable	₹ -----
	Net Payable	₹ -----

These figures given in the Memorandum for payable has been verified and bill passed for payment ----- (in words and figures)

Date: -----

-----  
Deputy General Manager(Premises)

Signature of Contractor with Seal

### MODE OF MEASUREMENT

1. Unless otherwise stated, all pipes shall be measured net, length as laid and measured overall fittings, such as bends, junctions, etc., and given in running meters. The length shall be taken along the center line of the pipes and fittings.
2. Length of fittings viz, taps, valves, traps etc., which are paid under appropriate items shall not be re-measured under linear measurements as enumerated above.
3. Soil waste and vent pipes shall be measured along the center line of the stack including the connecting bends/tees to W.C. Pan, Nahani trap, etc. and shall be paid as enumerated above.
4. W.C. Pans, Lavatory basins, Sinks, drain boards, Urinals, Mirrors, Glass shelf Toilet paper Holder, shall be measured by number and shall include all accessories as enumerated in detail specification under each item.
5. Unless otherwise specified, all types of taps, valves, etc., shall be measured by number and paid separately.
6. Manholes, inspection Chambers, Gully traps, etc. shall be constructed according to detail specification and measured by number and paid separately. The depth of Manhole shall mean the vertical distance from the top of the Manhole cover to the outgoing invert of the main drain channel.
7. Water meter shall include Y strainer and other appurtenances required by the local bodies and shall include brick masonry chamber, etc., as per detailed specifications and item shall be measured by number and paid for accordingly or as per schedule of quantity.

---00--

Signature of Contractor with Seal

## **PREAMBLE TO SCHEDULE OF QUANTITIES**

Note: While quoting rates for each item of work, the contractor shall include for the following irrespective whether it has been mentioned or not in the description of the item without any extra claim / payment.

1. All unexposed surfaces of timber (any variety) used shall be treated with necessary coats of wood preservative.
2. All exposed surfaces of timber (any variety) shall also have necessary coat of wood primer / putty and paint / polish as per description in the item.
3. Before making bulk quantities, the contractor shall make each of the item as sample and get it approved in writing from the consultant's minor modification if and as suggested by the consultant the same shall have to be incorporated without any extra cost.
4. All exposed edges of ply board shall be fixed with cedar / teak wood lipping.
5. All fabrics / leatherite to be used shall cost Rs. 300/ - per meter unless otherwise specified in the item.  
Difference in cost for approved sample shall be adjusted accordingly.
6. For furniture item where required whether mentioned or not shall be include providing fixing of Brass / Power coated handles /knobs multipurpose locks, mini tower bolts, ball catchers, hinges, screws and sliding rails etc.
7. Back of all storage, cabinets, and consoles shall be in 6mm commercial ply only.
8. Thickness of laminates to be used shall be 1 mm except where specified.
9. Ant termite treatment is to provide for all wood / board /ply used in the storage.

Signature of Contractor with Seal

## **SECTION – A: MATERIALS**

- 1) Material shall be of best approved quality obtaining and they shall comply with the respective Indian Standard Specification.
- 2) Samples of all materials shall be got approved before placing order and the approved sample shall be deposited with the Architect.
- 3) In case of non-availability of materials in metric sizes the nearest size in FPS units shall be provided with prior approval of the Architects for which neither extra will be paid nor shall any rebates be recovered.
- 4) If directed, materials shall be tested in any approved Testing Laboratory and the test certificates in original shall be testing including charges for repeated tests, if ordered, shall be borne by the Contractor.
- 5) It shall be obligatory for the Contractor to furnish certificate, if deemed by the Architects, from manufacturer or the material supplier that the work has been carried out by using their material and as per their recommendations.
- 6) All materials supplied by the Employer / any other Specialist Firms shall be properly stored and the Contractor shall be responsible for its safe custody until they are required on the works and till the completion of the work.
- 7) Unless otherwise shown on the Drawings or mentioned in the “Schedule of Quantities” or special specification, the quality of materials, workmanship, dimensions, etc., shall be as specified as hereunder.
- 8) All equipment and facilities for carrying out field tests on materials shall be provided by the Contractor without any extra cost.

a) **Cement:**

Cement shall comply in every respect with the requirements of the latest publications of IS: 269 and unless otherwise specified ordinary Portland Cement shall be used.

The weight of ordinary Portland Cement shall be taken as 1440 kg. per cu.m. (90 lbs. per c.ft.). Cement shall be measured by weight and in whole bags, and each undisturbed and sealed 50 kg. bag being considered equivalent to 35 liters (1.2 c.ft.) in volume care should be taken to see that each bag contains full quantity of cement. When part bag is required cement shall be taken by weight or measured in measuring boxes.

No other make of cement but that approved by the Architects will be allowed on works and the source of supply will not be changed without approval of Architect in writing. Test certificates to show that cement is fully complying the specifications shall be submitted to the Architects and notwithstanding this, the Architect may at his discretion, order that the cement brought on site and which he may consider damaged or of doubtful quality for any reason whatsoever, shall be re-tested in an approved testing laboratory and fresh certificates of its soundness shall be produced.

Cement ordered for re-testing shall not be used for any work pending results of re-test.

Cement shall be stored in weather-proof shed with raised wooden plank flooring to prevent deterioration by dampness or intrusion of foreign matter. It shall be stored in such a way as to allow the removal and use of cement in chronological order of receipt i.e., first received being used first used. Cement deteriorated and or clotted shall not be used on the work but shall be removed at once from the site. However, allowing use of warehouse set cement shall be determined by the Architects.

Signature of Contractor with Seal

b) **River Sand:**

River sand shall confirm to IS: 383 and relevant portion of IS: 515. It shall pass through a I.S. sieve 4.75 mm. (3/16 B.S.) test sieve, leaving a residue not more than 5%. It shall be from natural source i.e. only river or crushed stone screenings, if allowed, chemically clean, sharp, hard durable, well graded and free from dust, pebbles, clay, shale, salt, organic matter, loam, mica or other deleterious matter. The sum percentages of all deleterious substances to acceptable limits. River sand shall not contain any trace of salt and it shall be tested and river sand containing any trace of salt shall be rejected.

The fine aggregate i.e. river sand for concrete shall be graded within limits as specified in IS: 383 and the fineness Modules may range between 2.60 to 3.20.

The fine aggregate shall be stacked carefully on a clean hard dry surface so that it will not get mixed up with deleterious foreign materials. If such a surface is not available a platform of planks or corrugated iron sheets or brick floor or a thin layer of lean concrete shall be prepared.

c) **Fine & Coarse Aggregate:**

Shall consist of crushed or broken stone 95% of which shall be retained on 4.75 mm. IS tests sieve. It shall be obtained on crushing Granite, Quartzite, Trap, Basalt, or similar approved stones from approved quarry and shall confirm to IS:383 and IS 515. Fine & Coarse aggregate shall be chemically inert when mixed with cement and shall be cubical in shape and be free soft, friable, thin, porous, laminated or flaky pieces. It shall be free from dust and any other foreign matter.

Gravel / Shingle of desired grading may be permitted as a substitute in part or full in plain cement concrete if the Architect is otherwise satisfied about the quality of aggregate. For all the R.C.C. works the size of coarse aggregate shall be 20 to 25 mm. and fine aggregate shall be 10 to 15 mm.

d) **Bricks:**

Bricks shall generally comply with IS:1077 except in size which shall be classified as 1<sup>st</sup> and 2<sup>nd</sup> class. 1<sup>st</sup> class bricks shall be the best quality locally available table moulded, well burnt but not over burnt, have plain rectangular faces with parallel sides and sharp right-angled edges, have a fine compact and uniform texture. The bricks shall be free from cracks, chips, flaws, stones or subsequent to soaking in water. It shall emit a clear ringing sound on being struck and shall not absorb water more than 20% by weight. Common building bricks shall have a compressive strength of 35 kg. / sqm unless otherwise specified for first class bricks.

e) **Water:**

Water for mixing cement / lime / surkhi mortar or concrete shall not be salty or brackish and shall be clean, reasonably clear and free from objectionable quantities of silt and traces of oil, acid and injurious alkali, salts, organic matter and other deleterious materials which will either weaken the mortar or concrete or cause efflorescence or attack the steel in reinforced cement concrete. Water shall be obtained from sources approved by the Architect. Potable water is generally considered satisfactory for mixing and curing concrete, mortar masonry, etc., where water other than main source is used this shall be tested in an approved testing laboratory to establish its suitability. All charges connected therewith shall be borne by the Contractor.

Signature of Contractor with Seal

f) **Timber** :

Timber shall be well seasoned and of the best quality Indian Teak of specified species viz., Dandeli, Balarshah, Melabar, C.P.

Timber shall be considered as well seasoned, if its moistures content does not exceed the following limits.

- |  |     |
|--|-----|
| a) Timber for frames                   | 14% |
| b) Timber for planking, shutters, etc. | 12% |

The moisture content of timber shall be determined according to method described in paragraphs 4 of IS:287 for Maximum permissible moisture content of timber used for different purpose in different climatic zones.

In measuring cross-sectional dimensions of the frame pieces tolerance up to 1.5 mm. shall be allowed for each planed surface.

g) **Superior quality Indian Teak Wood** :

Superior quality Indian Teakwood means Dandeli, Balarshah, and Malabar Teak. It shall be of good quality and well-seasoned. It shall have uniform colour, reasonably straight grains, and shall be free from large. Loose, dead knots, cracks, shakes, warp, twists, bends, borer holes, sap-wood or defects of any kind. No individual hard and should not be more than 1 cm. in diameter and aggregate areas of all knots shall not exceed ½% of area of the piece. There shall not be less than 6 growth rings per 2.5 cm. width.

h) **1<sup>st</sup> Class Indian Teakwood** :

1<sup>st</sup> Class Indian Teakwood means C.P. and Bulsar teak of good quality and well-seasoned. It shall have uniform colour, reasonably straight grains and shall be free from large. Loose dead knots, cracks, shakes, warp, twists, bends, sap-wood or defects of any kind. No individual hard and should not be more than 2.5 cm. in diameter and aggregate areas of all the knots exceed 1% areas of the piece. There shall not be less than 5 growth tings per 2.5 cm. width.

i) **2<sup>nd</sup> Class Indian Teakwood** :

Shall be similar to first class Indian teak wood except that knot up to 4 cm. diameter and aggregate area of all knots up to 1 ½% of the area of the piece shall be allowed. There shall not be sapwood up to 15% is allowed.

j) **Flush Doors** :

All flush doors shall be solid core exterior grade unless otherwise specified and it shall generally confirm to IS:2202 and shall be fabricated as described under specification.

k) **Steel Windows and Doors** :

Steel windows and doors shall be fabricated of steel sections conforming to IS:226. They shall conform to IS 1038. Unless otherwise specified the details of construction etc., shall be as described under specification.

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l) **Floor Tiles** :

Designer pre-cast concrete tiles and interlocking paver block, plain cement tiles, chequered tiles, mosaic tiles terrazzo tile shall conform to IS:1237. For neutral shade tiles grey cement shall be used. Tiles shall be compacted by mechanical vibration and hydraulically pressed. It shall be of choice shade and shall have desired pattern of chip distribution. The sizes of chips to cement in terrazzo or mosaic floor shall be as specified in IS:1237. The size and thickness of tiles shall be as approved by the Architect.

m) **Ceramic / Vitrified Tiles** :

White or coloured glazed tiles shall comply with IS:777 or relevant or latest I.S. code. It shall be from an approved manufacturer and shall be flat and true to shape. They shall be free cracks, crazing, spots, chipped edges and corners. The glazing and colour shall be uniform shade and unless otherwise specified the tiles shall be 6 mm. thick.

n) **Marbles** :

Marble slabs for flooring, dado veneering etc., shall be of kind specified in the item such as white or pink, Makrana, Chittor black, Bhanslana black, Jaisalmer yellow, Baroda green, Patiala (Pepsu) grey, etc., Marble from which slabs are made shall be selected quality, hard, sound dense and homogenous in texture and free from cracks, weathering, decay and flaws. Before starting the work, the contractor shall get the sample of Marble slabs approved by the Architect.

The slabs shall be machine cut and machine polished.

o) **Kotah / Shahbad / Cudappa / Granite:**

Shall be of selected quality, hard, sound, dense, and of homogenous texture, free from cracks decay, weathering and flaws. Stone slabs shall be of uniform colour as approved by the Architect. They shall be machine cut and machine polished where specified and shall conform to the required size. Thickness shall be specified in the respective items.

p) **Glazing** :

Glass used for glazing shall be float glass of best quality, free from flaws, specks bubbles and shall be 2.9 mm. thick up to 0.60 x 0.60 mm. size and for larger size it shall be 4 mm. thick unless otherwise specified in the Schedule of Quantities.

The following type of glasses shall be used:-

- |                                     |  |
|-------------------------------------|--|
| 1) For Office/ Residential Building | Clear glass or as specified in the Schedule of Quantities. |
| 2) Office/Residential (toilets)     | Clear or frosted   |
| 3) Partitions                       | Frosted  |

q) **Paints:**

Lime for lime wash, dry distemper, oil bound distemper cement primer, oil paint, enamel paint, flat oil paint, plastic emulsion paint, anti-corrosive primer, red lead, water-proof cement paint and exterior grade Acrylic Emulsion paint, cement paint, sandtex matt shall be from an approved manufacturer and shall conform to the latest Indian Standard for

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various paints. Ready mixed paints as received from the manufacturer without any admixture shall be used, except for addition of thinner, if recommended by the manufacturer.

r) **Mortar:**

**Cement Mortar:**

Cement mortar shall be of proportions specified for each type of work in the schedule. It shall be composed of Portland Cement and sand. The ingredients shall be accurately gauged by measure and shall well and evenly mixed together in a mechanical pan mixer, care being taken not to add more water than is required. No mortar that has begun to set shall be used. River sand shall be used unless otherwise specified.

If hand mixing is allowed, then it shall be done on pucca water-proof platform. The gauged materials shall be put on the platform and mixed dry. Water will then be added and the whole mixed again until it is homogenous and of uniform colour. Not more than one bag of cement shall be mixed at one time and which can be consumed within half an hour of its mixing.

Note :

In connections with the I.S. Code numbers indicated under Section, Specification, Section A – General

Refer to the following I.S. Code numbers and the year and or otherwise latest modified I.S. Code Number.

- |   |   |                              |
|---|---|------------------------------|
| 1) Cement                                   | : | I.S. 269 – 1976              |
| 2) Lime                                     | : | I.S. 712 – 1964              |
|   |   | I.S. 1624 – 1960             |
| 3) Fine – Aggregate                         | : | I.S. 383 – 1970              |
| 4) Coarse – Aggregate                       | : | I.S. 515 – 1970              |
| 5) Reinforcement                            | : | I.S. 432 – 1966 Fe 415       |
|   |   | I.S. 1786 – 1966 (Tor Steel) |
|   |   | I.S. 1139 – 1966             |
| 6) Bricks                                   | : | I.S. 1077 – 1970             |
| 7) Neeru                                    | : | I.S. 712 – 1964              |
| 9) Timber                                   | : | I.S. 287 – 1960              |
| 10) Flush Doors                             | : | I.S. 2202 – 1966             |
| 11) Floor Tiles                             | : | I.S. 1237 – 1980             |
| 12) Ceramic / Vitrified Tiles               | : | I.S. 777 – 1970              |
| 13) Asbestos Roofing<br>and Rainwater pipes | : | I.S. 459 – 1962              |
| 14) R.C.C. design mix<br>M-25               | : | I.S. 456 – 2000              |



## **SECTION – B: MODE OF MEASUREMENTS**

The method of measurement for various items in the tender shall be generally in accordance with the IS: 1200 subject to the items for which the mode of measurements is not given under or elsewhere in the tender.

### 1) **Cement Concrete (Plain & Reinforcement):**

Cement concrete in R.C.C. and P.C.C. items shall be measured exclusive of reinforcement and plaster thickness but shall include necessary costs of shuttering, centering, hire charges of all equipment, curing, hacking and fair finish. Reinforcement and plaster shall be measured and paid separately.

Items like R.C.C. precast jalli, R.C.C. pipes and other such items which are normally manufactured in factories as well as those items which have been specifically mentioned in the Schedule of Quantities shall be measured inclusive of reinforcement.

No deductions will be made for openings up to 0.1 sq.mtr. and no extra labour for forming such openings or voids shall be paid.

Columns shall be measured from face to face of columns / beams and shall include haunches, if any. The depth of the beams (other than raft foundations beam) shall be measured from the top of the slab to the bottom of the beam.

In case of combined footings and raft foundations, the exposed, portion of the beam rib shall be measured as beam and remaining portion measured in footing / raft slab.

Slabs (other than in raft foundations) shall be measured in bays (clear of beams) with deductions for columns portions.

**Staircase:** Measurements shall be in Cum Staircase comprising if steps, soffit slab, landing slab shall be measured and paid under this item. Side parapet walls, railings, finishing of raisers and treads, M.S. reinforcement and plastering etc., shall be paid separately under respective items.

### 2) **Brick Work:**

Except walls of half-brick thickness or less, all brick work shall be measured in cubic meters.

#### **Thickness of Wall:**

Brick walls up to and including three bricks in thickness shall be measured in multiples of half-brick which shall be deemed to be inclusive of the mortar joints. Where fractions on half-bricks occur due to Architectural or other reasons, the measurement shall be taken half-bricks.

For walling, which is more than three bricks in thickness, the actual thickness of the wall be measured to the nearest centimeter.

Honey-combed brick walling shall be given in square meters stating the thickness of wall and the pattern of honeycombing. Honeycomb openings shall not be deducted.

**Deductions:**

No deductions or additions shall be made on any account for

- a) Ends of dissimilar materials (i.e. joists, beams, lintels, lofts, grinders, rafters, purlins, trusses, corbels, steps, etc.) up to 500 square centimeters in section.
- b) Opening up to 0.1 sq. in section.
- c) Wall plates, bed plates and bearing of slabs, chajjas and the like where the thickness does not exceed 10 cm. and the bearing does not extend over the full width of the wall.

3) **Woodwork:**

All work shall be measured net as fixed. No extra measurement will be given for shape, joints, splayed meeting styles of doors and windows and shall be measured in unit of square meters.

Area over the face inclusive of exposed frame thickness (excluding width of cover mould) shall be measured in case of door, windows and ventilators when frames are included in the item. Portions embedded in masonry or flooring shall not be measured. Where frames are measured separately mode of measurement shall be as per C.P.W.D. practice or IS:1200.

4) **Doors, windows, ventilators, louvers:**

Clear area over one face inclusive of exposed frame shall be measured. Holdfasts or portions embedded in masonry or flooring shall be measured.

5) **Steel rolling shutters and rolling grilles:**

Clear width between side jambs and clear height between floor and bottom of lintel / beam shall be measured. Hood shall not be measured separately. The rate should be inclusive of the cost of hood.

6) **Flooring, Skirting, Dado:**

Flooring shall be measured from skirting to skirting and where the wall surface is plastered or provided with Dado, it shall be measured from plaster to plaster or dado to dado.

7) **Plastering and Pointing:**

All plastering and pointing shall be measured in square meters unless otherwise described.

Net is of surface plastered shall be measured. No deductions will be made for ends of joints, beams, posts, etc., and opening not exceeding 0.5 sq.mtr. each and no additions shall be made neither for reveals, jambs, soffits, sills, etc. of these openings nor for finishing the plaster around openings, ends, of joists, beam and posts, etc.

Full deductions will be made for door, window and ventilator from each side with adding jambs for door, window and ventilator.

8) **Painting, White Washing, Colour Washing and Distempering:**

All painting work shall be measured in square meters.

Net area of surface painted shall be measured. No deductions will be made for unpainted surfaces of ends of joists, beams, posts etc., and opening not exceeding 0.5 sq.mtr. each and no additions shall be made for reveals, jambs, soffits, sills, etc., of these openings.

Full deductions will be made for door, window and ventilator from each side with adding jambs for door, window and ventilator.

No coefficient will be considered for painting over sponge finished or sand faced plaster.

The following multiplying factors for obtaining equivalent areas shall be adopted.

No.	Description of works	How measured	Multiplying Factor
a)	Wood paneled framed ledged, braces and battened.	Measured flat (not girthed) including frame, edges, chawkats, cleats, etc., shall be deemed to be included in the item.	1 1/8 (for each side).
b)	Wood flush part paneled and part.	-- do -- glazed or gauzed.	1 (for each side).
c)	Fully glazed or gauzed or glazed louvered ventilators / window / door.	-- do --	¼ (for each side).
d)	Fully venetioned of louvered (not with glazing).	-- do --	1 ½ (for each side).
e)	Weather boarding.	Measured flat (not girthed supporting framework shall not be measured separately).	1 1/8 (for each side).
f)	Trellis (or Jaffri) work one way or two ways.	Measured flat overall, no deduction shall be made for opening (supporting members shall not be measured separately)	1 (for each side).
g)	Guard bars, balustrades, gratings, grille railings, grille partitions, etc.	--- do ---	1 (for painting all over).
h)	M.S. gates & open palisades fencing, door including standards, braces, rails, stays, etc.	See note below	1 (for painting over all).
i)	Steel rolling / alligator type shutters.	Measured flat over jambs, guides, bottoms, rails and locking arrangement etc. shall be deemed to be included in the item.	1 ¼ (for each side).
j)	Carved or enriched work.	Measured flat.	2 (for each side).
k)	Fully glazed or gauzed steel windows or partitions.	Measured flat.	1 ¼ (for all over).

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The height shall be taken from the bottom of the lowest rail, if the palisades do not go below it (or from the lower end of the palisades, if they project below the lowest rail) up to the top of the palisades, but not up to the top of the standards, if they are higher than the palisades. Similarly, for the gates, depth of roller shall not be considered while measuring the height.

Area painted over sand cement plaster; sponge finished / sand faced plaster / rough cast plaster area painted without considering any coefficient for painting over sand faced plaster

## **SECTION – C: WORKMANSHIP**

### **PLAIN & REINFORCED CEMENT CONCRETE**

#### **A) VOLUMETRIC BASIS:**

##### **General:**

Except where they are varied by the requirements of this specification due provision of Indian Standard Specification IS-456-1964 for plain and reinforced concrete and IS-432 part I and II for Mild and Medium Tensile steel Bars and hard drawn steel wire for concrete reinforcement and any other relevant ISS applicable together with the latest amendments shall be held to be incorporated this specification. It shall be intent of these specifications to ensure that all concrete placed at various location of the job should be durable, strong enough to carry design, loads, it should wear well and practically be impervious to water. It should be free from such defects as shrinkage, cracking and honeycombing.

##### **Proportioning the Mix:**

In ordinary concrete, excluding controlled concrete, proportions of cement to fine and coarse aggregate shall be as specified in the respective items and shall be accurately measured as in table “A” below. These proportions are based on assumption that the aggregates are dry. If aggregates are moist allowance shall be made for bulking in accordance with IS:2386/-. Allowance shall also be made for surface water present in aggregate when computing water contents. Surface water present shall be determined by one of the field methods described in IS:2386/- (Part III). In the absence of exact data, the amount of surface water may estimate by the value given in table “B” below (Table “A” and “B” please see on page nos.124 & 125).

##### **Mixing:**

Concrete of 1:2:4 or richer mix shall be mixed in an approved mechanical mixer. The mixer and mixing platform shall be suitably protected from wind and rain. Aggregates shall be accurately measured out in boxes and mixed dry along with cement, water shall be then added in measured quantity and mixing shall be continued until there is a uniform distribution of the materials and the mass is uniform in colour and in consistency but in no case shall he mixing be done for less than 2 minutes.

When hand mixing is permitted with the approval of the Architect it shall be carried out on water-tight mixing platform and care shall be taken to ensure that mixing is continued until mass is uniform in colour and consistency.

##### **Consistency:**

Quantity of water for making reinforced concrete shall be sufficient so as to ensure that concrete shall surround and properly grip all the reinforcement. The best consistency shall be that which will flow sluggishly without flattening out and without separation of

coarse aggregates from the mortar. The degree of plasticity shall depend on the nature of work and atmospheric temperature and whether the concrete is vibrated or hand compacted. The slumps shown in table “C” obtained by standard slump test carried out in accordance with the procedure laid down in IS:119-1959 shall be adopted for different types of work.

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**Admixtures:**

The usage of admixtures is allowed only if approved by the structural consultant and his decision in this regard shall be final.

**Transportation:**

Concrete shall be conveyed from the place of mixing to the place of final deposit as rapidly as practicable by methods which will prevent segregation or loss of any of the ingredients. If segregation does occur during transport, the concrete shall remix before being placed. In no case, more than 30 minutes shall elapse between mixing the consolidation in its position.

**Placing and Compacting:**

Concrete shall be placed in layers of suitable thickness or in strips and compacted before initial setting commences and should not be subsequently disturbed. Method of placing shall be such as to preclude segregation and as far as practicable the placing shall be continuous. Special care shall be taken in accordance with IS:456 while laying concrete under extreme weather.

Concrete shall be thoroughly compacted during the operation of placing and thoroughly working around the reinforcement, embedded fixtures and spaded against corners of the form work and by punning, rodding, mechanically vibrating or by any other approved means. In addition, form work shall be tapped lightly by using wooden mallet at the pouring head. The number and type of vibrator to be used shall be subject to the approval of the Architects and in general immersion type vibrators shall be used. External vibrators shall also be used whenever directed.

The intensity and duration (of vibration shall be sufficient to cause complete settlement and compaction without any stratification of successive layers or separation of ingredients or formation of laitance. Vibrator shall be inserted vertically in the concrete at points not more than 45 cm. apart and withdrawn very slowly when air bubbles no longer come on the surface. Over vibration or vibration of very wet mixes is harmful and should be avoided. Care shall be taken to utilize the vibrator only to compact the concrete and not to spread it, sufficient number of reserve vibrator in good working condition shall be kept on hand at all times, so as to ensure that there is no slackening or interruption in compacting.

**Curing:**

Concrete shall be carefully protected during first stage of hardening from harmful effects of excessive heat, drying winds, rain or running water. It shall be covered with a layer of sacking, sand canvas, hessian, or similar absorbent materials and kept constantly, wet for ten days from the date of placing of concrete. Alternatively, the concrete being thoroughly wetted and covered by layer of approved water-proof material which should be kept in contact with it for seven days.

**Strength:**

Concrete mixed in the proportion desired shall have compressive strength after placing, not less than the following:

No	Concrete Mix.	Minimum compressive strength @ 7 days	Minimum compressive strength @ 28 days
----	---------------	---------------------------------------	--

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1	1:1:2	160 Kg. / Sq.mtr. (2250 Lbs. / Sq. inch).	250 Kg. / Sq.mtr. (3500 Lbs. / Sq. inch).
2	1:1½:3	132 Kg. / Sq.mtr. (1875 Lbs. / Sq. inch).	200 Kg. / Sq.mtr. (2850 Lbs. / Sq. inch).
3	1:2:4	106 Kg. / Sq.mtr. (1500 Lbs. / Sq. inch).	150 Kg. / Sq.mtr. (2250 Lbs. / Sq. inch).

### **BRICK MASONRY**

**General :**

All brick work should be carried out as shown on the drawings with setbacks, projections, cuttings, toothings, etc. Wherever the proportion of cement mortar has not been specifically mentioned, cement mortar in the proportion of 1:6 shall be used. Flat bricks arches shall be provided wherever required without any extra cost. Brick work shall be kept wet while in progress, till mortar has properly set. On holidays or when work is topped, top of all unfinished masonry shall be kept wet. Should the mortar become dry, white or powdery, for want of curing work shall be pulled down and rebuilt at the Contractor's expenses.

**Brick Work 1<sup>st</sup>Class:**

Bricks shall be thoroughly cleaned, well wetted and soaked for at least twelve hours in fresh water before being used on the work. Bricks shall be of locally, available best quality.

English bond shall be used throughout in walling. A good bond shall be maintained throughout the work, both laterally and transversely. In walling, the courses shall be kept perfectly horizontal and in plumb with the frogs facing upwards. Vertical joints shall not exceed 10 mm. thickness and shall be full of mortar. No broken bricks shall be used except as closers. After day's work all joints shall be raked to 12 mm. depth to provide for proper key to plastering.

Mortar used shall be as specified in respective items and every third course of brick work shall be flushed with mortar grout.

Whole of the masonry work shall be brought up at one uniform level throughout the structure; but where breaks are unavoidable, joints shall be made in good long steps. All junctions of walls and cross walls shall be carefully bounded into the main walls. The rate of laying masonry may be up to a height of 60 cm. per day if cement mortar is used and 45 cm. per day if lime mortar is used. Greater heights may be built only if permitted by the Architect.

During rains, the work shall be carefully covered to prevent mortar from being washed away. Should any mortar or cement be washed away, the works shall be removed and rebuilt at the Contractor's expenses.

**Bricks Work 2<sup>nd</sup>Class:**

Shall be similar to 1<sup>st</sup> class brick work except that 2<sup>nd</sup> class bricks shall be used and joints shall be 10 mm. to 12 mm. thick.

**Half Brick Masonry :**

Shall be set in cement mortar as specified. Hoop iron bands of 2.5 cm. x 0.16 (1" x 1/16") shall be embedded in every fourth course with thick mortar band or 2 Nos. 6 mm. (1/4") dia. bars shall be used in every sixth course otherwise as specified under item.

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## **WOOD WORK**

Timber used shall conform to specifications described under Materials, Doors, Windows, Ventilators, walls, Paneling, False Ceiling, etc., shall be in accordance with Architect's drawing in every detail and all joiner's work shall be accurately set out, framed and finished in a proper workman-like manner, frames of doors, windows and ventilators etc. and shutter styles and rails shall be best solid teak of quality specified in the schedule of quantities. The scantlings shall be accurately planed smooth, rebates, rounding and mouldings shall be made as shown on the drawings, patching or plugging of any kind shall not be allowed. Joints shall be simple, neat and strong. Framed joints shall be coated with suitable adhesive like glue or synthetic resin before the frames are put together. All mortice and tenon joints shall be fit and fully and accurately without wedging or filling. The joints shall be pinned with hard wood or bamboo pins of 10 mm. to 12 mm. dia. or rust resisting star shaped metal pins 8 mm. after the frames are put together and pressed in position by means of press. The frames are put together and pressed in progress of work by suitable boxing. All portions of timber abutting against or embedded in masonry or concrete shall be treated against termites by giving a coat of any approved wood preservative.

Unless otherwise specified all doors, frames shall have six M.S. flat holdfasts and window frames shall have four holdfasts shall be provided to the ventilators, if directed. Size of holdfasts shall be 30 mm. x 40 mm. x 6 mm. M.S. flat bent to shape worth fish tail end and it shall be fixed to frame with sufficient number of screws as directed. When door / window frames are to be fixed to R.C.C. column or R.C.C. wall, holdfasts shall be substituted by suitable arrangements such as coach crews, rawl bolts etc., to secure frames to R.C.C. column or R.C.C. wall as directed by the Architect.

Frames and shutter shall not be painted or erected before being approved by Architect.

### **Paneled Shutter :**

Panels shall be of pattern and size as shown on the drawings or as directed by Architect. Solid teak wood panels shall be in one piece wherever possible. Where two or more pieces are permitted, they shall be of equal width. Panels shall be framed into grooves made in styles and rails to the full depth of groove and faces shall be closely fitted to sides of groove.

Where panels specified are block board, it shall be solid core with teak internal lipping and of approved make.

Partly paneled and partly glazed shutter shall be similar to paneled shutters except that such parts as are directed shall be glazed with plain or ground glass as specified. Styles and rails shall be rebated 12 mm. to receive glass. Sash bars shall be moulded and rebated and mitered on sides to receive the glass which shall be fixed with putty and beads.

### **Hardware Fittings :**

Unless otherwise specified all hardware, fittings and fixtures shall be supplied by the employer free of charge. However, the cost of fixing fittings shall be included in the rate quoted. The fixing shall be done in the best workman-like manner in accordance with the manufactures specifications. The Contractor shall be held responsible for working of all moving parts dependent on proper fixing. He will also be responsible for any breakage due to negligence during fixing or lack of protection before the building is handed over. The Contractor shall also take delivery of all hardware fittings etc., as and when supplied and arrange for safe storage etc.

Hardware required for fixing false ceiling, wall paneling etc., shall be arranged by the Contractor at his cost. Apart from the hardware fittings required for the joinery items, the

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Contractor shall have to fix all other items of hardware fittings to be supplied by the employer viz. coat / picture hooks, numerical, letters to denote buildings, hanging rods etc., as directed by the Architects.

Painting and polishing of wood work shall be as per specifications under respective heads.

### **Flush Doors :**

All flush doors shall be solid core unless otherwise specified. It shall conform to the relevant specifications of I.S. 2202 and shall be obtained from approved manufactures. The finished thickness of the shutter shall be mentioned in the items. Face veneers shall be of the pattern and colour approved by the Architect and an approved sample shall be deposited with the Architect for reference.

The solid core shall be wood laminae prepared from battens of well-seasoned and treated good quality wood having straight grains. The battens shall be of uniform size of about 2.5 cm. width. These shall be properly glued and machine pressed together, with grains of each piece reversed from that of adjoining one. The longitudinal joints of the battens shall be staggered and no piece shall be less than 50 cm. in length. Alternatively, the core shall be of solid teak particle board. Edges of the core shall be lipped internally with 1<sup>st</sup> Class teak wood battens of 4 cm. (1.5") minimum depth, glued and machine pressed along with the core.

The core surface shall then have two or three veneers firmly glued on each face. The first veneer (called cross band) shall be laid with its grains at right angles to those of the core and the second and the third veneers with their grains parallel to those of the core. The under veneers shall be of good quality, durable and well-seasoned wood. The face veneers shall be of minimum 1 mm. thickness and of well-matched and seasoned 1<sup>st</sup> class teak, laid along with grains of the core battens. The combined thickness of all the veneers on each face shall not be less than 4 mm. Thermosetting synthetic resin conforming to I.S. 303 or moisture-proof plywood grade MPF.I. shall be used in manufacture. In addition to internal lipping all doors shall have external lipping all round.

### **DOORS, WINDOWS, VENTILATORS ROLLING SHUTTER, M.S. GRILLES ETC.**

Steel used in the manufacture of rolled steel sections shall not have more than 0.060 per cent of Sulphur and 0.065 per cent of phosphorus. The carbon content shall not exceed 0.30 per cent and shall be of weldable quality. In all other respects, the rolled steel sections shall conform to I.S. 226-1955 and I.S. 1977-1962.

Frames shall be square and flat. Both the fixed and openable frames shall be constructed of sections which have been cut to length, mitred and electrically welded at corners. Subdividing bar units shall be tenoned and rivetted into the frames. All frames shall have the corners welded to a true right angle and welds shall be neatly cleaned off. Couplings, mouldings and weather bar shall be provided as directed by the Architects.

Outer frames shall be provided with fixing holes centrally in the web of the sections and fixing screws and lugs shall be used for fixing the frame to masonry. Mastic cement shall be used for making the joints watertight.

Hinges shall be strong projecting type. If directed friction type hinges shall be used in which case windows shall not be fitted with peg stays.

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Projecting type hinged shutter shall be fitted with bronze or brass peg stays, 30 cm. long with peg and brackets welded / riveted to the frame or as stated under item.

All windows shall be provided with handles of brass or bronze or otherwise as stated under them.

Top hung ventilators shall be fixed with plain hinges rivetted / welded to the fixed frame. A brass or bronze peg stay 30 cm. long as in windows shall be provided or as stated under item.

Center hung ventilators shall be hung on two pairs of brass or leaded tin bronze cup pivots rivetted to the inner and outer frames of the ventilators to permit the ventilators to swing through an angle of approximately 85. The opening position of the ventilator shall be so balanced to keep it open at any desired angle under normal weather conditions. A bronze spring catch shall be fitted in the center of the top bar of the ventilator for the operation of the ventilator. This spring catch shall be secured to the frame with brass screws and shall close into a mild steel malleable iron catch plate rivetted or welded to outside of the outer ventilator frame bar. A brass cord pulley wheel in mild steel or malleable iron brackets shall be provided along with card eye.

The windows and ventilators shall be painted. All the steel surfaces shall be thoroughly cleaned free of rust, scale or dirt and mill scale by picking or phosphating and before erection painted with one coat of approved primer and after erection painted with two finishing coats of synthetic enamel paint of approved shade and quality.

Glazing of specified thickness shall be provided on the outside of frames and unless otherwise specified, metal beading of approved shape, and section shall be used for fixing glasses. Special metal sash putty of approved make shall be used, if directed.

#### **Steel Grills:**

Grills shall be manufactured as per drawings and the welded joints shall be smooth. The grilles shall be painted with one coat of anti-corrosive paint before fixing and two coats of synthetic enamel paint of approved quality and shade.

#### **Aluminum Doors, Windows, Ventilators & Partitions etc.:**

These shall be obtained from approved and established manufactures and shall be of Aluminum alloy conforming to I.S. 733 and sections shall generally conform to I.S. 1948. These shall be fabricated as per the details drawings,

Frames for windows, ventilators etc., shall be square and flat. Both fixed and openable frames shall be constructed of section which have been cut to length, mitred and welded at corners. Sub-dividing bars shall be tenoned and rivetted into the frames. All frames shall have corners welded to a true right angle. For side hung shutters, hinges shall normally be of projecting type made of Aluminum alloy and rivetted / welded to frames. Handles, peg stays etc., or approved quality Aluminum or its alloy conforming to IS Specifications.

All types of shutters shall be fabricated, supplied and fixed as specified in the IS:1948. The rate shall include supplying and fixing all fittings and fixtures required for proper and safe operation.

The doors shall be fabricated by using standard aluminum alloy extruded sections as specified in IS:1948. The rate shall include supplying and fixing all fittings and fixtures including approved locking arrangement as directed.

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All aluminum fabricated work shall be anodized to the British Standard 1616:1961 to give an anodized film of 25 micron.

The Contractor shall take to stack the fabricated frames etc., on site under cover. They shall be handled with care, stacked on edge on level bearers and supported evenly. Before erecting, the frames coming in contact with concrete, masonry, plaster of dissimilar metals shall be coated with a coat of Zinc Chromate conforming to IS:104-1950. The Contractor shall cover all anodized finish work with a thick layer of clear transparent lacquer based on methacrylate or cellulose butyrate to protect the surface from wet cement during installation. This coating shall remove on completion. Before handing over, the aluminum work shall be washed with mild solution of non-alkali soap and water.

**Glazing:**

Glazing shall be approved especially quality glass of specified thickness and unless otherwise directed it shall be provided the exterior with metal beading.

**FLOORING, SKIRTING, DADO AND STONE VENEERING**

All flooring, skirting, dado and stone veneering etc., shall be executed strictly as per relevant IS Specification and in workman-like manner.

**Shahabad / Tandur / Kotah / Cuddappa Stone Flooring:**

The flooring shall be either with rough stone or machine cut and machine polished as specified in respective items and shall be of specified thickness and of approved quality and size, free from cracks and flakes and shall be uniform in colour with straight edges. The sides of machine cut and machine polished stone shall have perfect right angles and surface smooth. The stone slabs shall be laid and finished as described under plain cement or colour cement tiles on a bedding of 1:2 lime mortar 25 mm. (Average) thickness. The finished stone surface thus laid shall then be polished to the required degree as approved by the Architect.

**In Dado, Skirting, Risers etc.:**

Stone slabs shall be laid on backing plaster of cement mortar 1:4 of 15 mm. to 20 mm. thick and finished as described under plain and coloured cement tile dado.

**Marble Flooring:**

Marble slabs shall be of the best Indian marble of White or other approved colour as specified in the item. They shall be hard, dense, uniform and homogeneous in texture. They shall have even crystalline grain and free from defects and cracks. The surface shall be machine polished to an even and perfectly plane surface and edges machine cut true to square. The rear face shall be rough enough to provide a key for the mortar.

No slab thinner than the specified thickness at its thinnest part. The sizes of the slabs shall be as specified in the respective items.

The slabs shall be laid as described under mosaic tile flooring in every respect.

**White Glazed / Ceramic Tiles / Vitrified Tiles in Flooring and Dado:**

White Glazed Tiles from an approved manufacturer conforming to IS:777 shall be used. They shall be of specified size and thickness. All specials viz. coves, internal and external

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angles, corners, beads etc., shall be used wherever directed. Underlayer of specified thickness and mortar of stipulated proportion shall be laid as described in marble mosaic flooring. Tiles shall be washed clean and set in cement grout and each tile being gently tapped with a wooden mallet till it is properly bedded and in level with the adjoining tiles. The joints shall be kept as thin as possible and in straight lines or to suit the required pattern. After the tiles have been laid, surplus cement grout shall be cleaned off.

The joints shall be cleaned off the grey cement grout with a wire brush or trowel to a depth of 5 mm. (3/16") and all dust and loose mortar removed. Joints shall then be flush pointed with white cement. The floor shall then be kept wet for seven days. After curing, the surface shall be washed with mild hydrochloric acid and clean water. The finished floor does not sound hollow when tapped with a wooden mallet.

## **PLASTERING**

### **Scaffolding:**

Scaffolding for carrying out plastering work shall be double steel scaffolding having two sets of vertical supports so that the scaffolding is independent of the walls.

### **Preparation of surface:**

All putlog holes in brick work and junction between concrete and brick work shall be properly filled in advance. Joints in brick work shall be raked about 10 mm. if not raked out while constructing brick masonry work and concrete surface hacked to provide the grip to the plaster, if not hacked earlier projecting burns of mortar formed due to gaps at joints in shuttering shall be removed.

The surface shall be scrubbed clean with wire brush / coir brush to removed dirt, dust etc., and the surface thoroughly washed with clean water to remove efflorescence, grease and oil etc., and shall be kept wet for a minimum of six hours before application of plaster.

### **Internal Plaster:**

Cement mortar of specified proportion and thickness shall be prepared in small batches and applied to the wall surface / ceiling. The ensure proper thickness, gauged patches shall be made at 1.5 to 2 m. apart and the surface plastered true to line, level and plumb taking special care to finish jambs of windows, doors, wall returns, corners, junctions etc. The surface shall be kept moist for seven days and then given a coat of whitewash.

### **Sand-faced Plaster:**

The surface shall be prepared as above.

The coat of cement mortar in proportion of 1:4 or as specified, shall be applied uniformly all over the surface to a thickness of 12 mm. and finished true to level and line and keys shall formed on the surface. The surface shall be kept moist till the finishing coat is applied.

The finishing coat shall be applied a day or two after. The proportion of mortar for finishing coat shall be one part of cement and three parts of selected, well graded and washed sand, or as specified under item and it shall be applied in a uniform thickness of 6 mm. (1/4").

The surface shall be tapped to uniform grained texture by using sponge pads as directed. Curing shall start after 24 hours and the surface kept wet for seven days.

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**Water-proofing Treatment:**

Unless otherwise specified, the Contractor shall carry out waterproofing treatment of basements, terrace and water retaining structures through reputed firms having specialization in the line and approved by the Architects. The Contractor shall also furnish full details of such treatment to the Architects and provide all information / proof etc., regarding the effectiveness of the treatment when called upon to do so. All such treatment shall have to be guaranteed in the form approved by the Employer for a minimum period of ten years. Any defects / leakages noticed during the guarantee period shall have to be rectified free of cost by the Contractor including reinstating the surface to its original condition and finish.

Waterproofing of sunk portions of floor slabs for baths, W.C. and kitchen moories etc., in residential buildings, unless otherwise specified, shall be done as specified in the schedule and shall generally comprise of:

- a) A coat of hot bitumen, min. 6 mm. thick screened with stone grit.
- b) Min. 20 mm. thick cement plaster in cement mortar 1:3 with approved water-proofing cement compound as per manufactures specifications. The plaster shall be cured by pounding for seven days.

The rate for the above treatment shall include drying and cleaning surfaces free of dust etc. and wiping with kerosene before application of bitumen. The vertical faces and returns shall also be treated similarly. The actual area treated including vertical faces and returns shall be measured and paid for. The work should be done in such a way that the finished flooring in bath has a minimum slope of 20 to 25 mm.

**PAINTING**

**General:**

Wherever scaffolding is necessary, it shall be double scaffolding.

The surface shall be thoroughly brushed free from mortar droppings and foreign matter. All steel work shall be cleaned of loose rust, mill scales etc. so as to expose the original surface. All broken edges, cracks, loose plaster and wavy surface shall be brought up either by patch plaster work or by plaster of paris.

All materials viz., dry distemper, oil bound distemper, oil paint, flat oil paint, synthetic enamel paint, plastic emulsion paint, cement primer, red lead and other primers and metallic paints shall conform to respective I.S. specifications and shall be obtained from approved manufactures. All paints shall be brought on site in sealed thins in ready mixed form and shall be applied directly with the addition of thinner, if recommended by the manufacturers.

**Oil Bound Distemper:**

The surface shall be prepared as specified above. A primer coat of either cement primer or any approved distemper primer shall be applied.

After the primer coat has dried, the surface shall be lightly sand papered and dusted to make to smooth to receive distemper.

Distemper shall be prepared as per the directions of the manufacturer and conforming to shade approved. It shall be applied in specified coats, taking care to allow for drying of each coat before subsequent coats are applied.

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**Painting – Oil / Enamel / Acrylic Emulsion etc.:**

Ready mixed oil paint, flat oil paint, plastic emulsion paint, ready mixed synthetic enamel paint, etc., shall be brought in original containers and in sealed tins. If for any reason thinner is necessary, the brand and quantity of thinner recommended by the manufacturer or as instructed by the Architect shall be used. The surface shall be prepared as specified above and a coat of approved primer shall be applied. After 24 hours drying approved or specified quality paint shall be applied evenly and smoothly. A filler putty coating may be given to give a smooth finish. Each coat shall be allowed to dry out thoroughly and then lightly rubbed down with sandpaper and cleaned of dust before the next coat is applied. Number of coats shall be as specified in the item and if the finish of the surface is not uniform, additional coats as required shall be applied to get good and uniform finish at no extra cost. After completion no hair marks from the brush or clogging of paint puddles in the corners of panels, angles or mouldings etc., shall be left on the work. The glass panes, floor etc. shall be cleaned of stains.

When the final coat is applied, if directed, the surface shall be rolled with a roller or if directed, it shall be stippled with a stippling brush.

**POLISHING AND VARNISHING****French Polishing:**

French spirit polish shall be of an approved make conforming to IS:348. If it has to be prepared on site, the polish shall be made by dissolving 0.7 kg. of best shellac in 4.5 liters of methylated spirit without heating. To obtain required shade pigment may be added and mixed.

Surface shall be cleaned. All unevenness shall be rubbed down smooth with sand paper and well dusted. Knots, if visible, shall be covered with a preparation of red lead and glue. Resinous or loose knots and gaps shall be filled with season timber pieces and make level with rest of the surface. Holes and indentations on surface shall be filled with putty made of whiting and linseed oil. Surface shall be give a coat of filler made of 2.25 kg. of whiting in 1.5 liter of methylated spirit. When it dries, surface shall again be rubbed down perfectly smooth with sand paper and wiped clean.

Piece of clean fine cotton cloth and cotton wool made into shape of pad shall be used to apply polish. The pad shall be moistened with polish and rubbed hard on the surface applying the polish sparingly but uniformly and completely over the entire surface. It shall have allowed to dry and another coat applied in the same way. To give finishing coat, the pad shall be covered with a fresh piece of clean fine cotton cloth, slightly damped with methylated spirit and rubbed lightly and quickly with a circular motion, till the finish surface attains uniform texture and high gloss.

**Wax Polishing :**

Wax polish shall either be prepared on site or obtained readymade from market. Polish made on the site shall be prepared from a mixture of pure bee's wax, linseed oil, turpentine oil and varnish in the ratio of 2:1.5:1:½ by weight. The bees wax and the boiled linseed oil shall be heated over a slow fire. When the wax is completely dissolved the mixture shall be cooled till it is just warm, and turpentine oil and varnish added to it in the required proportions and the entire mixture is well stirred.

Surface shall be prepared as described under French polishing except that the final rubbing shall be done with sandpaper which has been slightly moistened with linseed oil.

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Mixture or polish shall be applied evenly, with a clean cloth pad in such a way that no blank patches are left and rubbed continuously for half an hour. When the surface is quite dry a second coat shall be applied in the same manner and rubbed continuously for an hour or until the surface is dry. Final coat shall then be applied and rubbed for two hours or more if necessary, until the surface has assumed a uniform gloss and is quite dry showing no sign of sickness when touched. Gloss of the polish depends on the amount of rubbing, therefore rubbing must be continuous and with uniform pressure and frequent change in direction.

**Varnishing** :

Surface shall be prepared as described above. After preparation of surface, two coats of clean boiled linseed oil shall be applied at sufficient interval of time. After the linseed oil has dried two coats of varnish obtained from approved manufacturer shall be applied at sufficient interval of time. If the surface fails to produce the required gloss an additional coat shall be applied without any extra cost.

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**II. SANITARY INSTALLATION:**

**SANITARY FIXTURES:**

**INDIAN TYPE W.C. PANS :**

The W.C. pan shall be of White Vitreous China, of specified size and pattern. Pan shall be of approved quality and shall bear the mark of the firm manufacturing it. It shall have 10 cm. (4") porcelain trap ("P" or "S" type with effective seal) and 5 cm. (2") vent arm.

**EUROPEAN TYPE W.C.:**

The closet shall be of White Vitreous China readily flushed, of wash down type and shall be of best quality manufactured by an approved firm, and fixed to the floor by approved means, as described under item in Schedule of Quantity.,

Each closet shall be provided with the following accessories and the rate shall be all inclusive.

- 1) **Seat** : Heavy black plastic seat of approved quality and seat cover with rubber buffers fixed to the pan with C.P. Brass bar hinge.
- 2) **Cistern** : Low level flushing tank 10 litres capacity of White Vitreous China cistern of best quality manufactured by an approved firm with C.P. flush handle and C.P. overflow pipe of length as per Municipal requirement or as per Architects drawing with mosquito-proof brass C.P. Cap etc., complete unit including enameled or C.P. flush pipe and bend. Or as described under item in Schedule of Quantity.
- 3) Necessary length of PVC water inlet pipe and 12 mm. dia. C.P. brass stop cock.
- 4) Necessary length of porcelain or lead or C.I. connecting pipe 10 cm. dia. (plug bend / tee connection to vertical stack shall be paid under appropriate item).
- 5) Wherever anti-syphonage pipe connections are required, necessary length of lead pipe 6.25 cm. dia. shall be provided.

**ANGLE VALVE :**

The cistern shall be fed with 15 mm. (1/2") C.P. Brass inlet tube angle valve of approved make with necessary length of lead inlet pipe complete with C.P. Brass unions unless otherwise specified in the Schedule of Quantities.

The capacity of flushing cistern and size of the flush pipe for the number of urinals shall be as follows :

Numbers of Urinals	Capacity of flushing cisterns		Mains		Size of distribution	
	In Litres	In Gallons	In mm.	In inches	In mm.	In inches
1	5	1	--	--	15	1/2
2	10	2	20	3/4	15	1/2
3	10	2	25	1	15	1/2
4	15	3	32	1.25	15	1/2

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The main and distribution pipe fittings and clamps shall be of C.P. Brass unless otherwise specified in the Schedule of Quantities. Distribution pipes shall feed the urinals with C.P. brass spreaders of approved make.

- a) **Fittings** : Each sink shall be provided with 40 mm. (1.5") C.P. Brass waste of approved pattern with C.P. Brass chain and 40 mm. rubber plug and 40 mm. dia. C.P. Brass trap and union which shall be connected to 40 mm. diameter waste pipe. Waste pipe beyond the trap shall be measured separately and paid under appropriate item. Where specified sinks shall be provided with puff pipe with a Brass perforated screw item.
- b) **Painting** : All fittings, brackets and pipes shall be painted with two coats of enamel paint over a coat of primer.

### **DRAINAGE BOARD** :

Drainage boards of type and size as specified in the Schedule of Quantities shall be provided. These shall be fixed on strong brackets of approved design and where necessary provided with hinges. Brackets shall be painted with two coats of enamel over a coat of primer.

### **III. TOILET REQUISITES** :

#### **MIRRORS** :

Mirrors shall be of the best quality, specified size, approved design and make. It shall be mounted on plywood / particle board backing and shall be fixed in position by means of four C.P. Brass screws and cup washers over rubber washers on wooden plugs firmly embedded in the wall. Alternative method for fixing could be by using Brass clamps with C.P. Brass screws. A suitable T.W. cover mould of approved design shall be fixed all round as directed.

#### **GLASS SHELF** :

The shelf shall be of glass of approved quality and thickness with edges rounded off. The size of the shelf shall be as specified and shall rest on C.P. Brass brackets which shall be fixed with C.P. Brass screws to wooden plugs, firmly embedded in the wall. The shelf shall have C.P. Brass guard rail all round.

#### **TOWEL RAIL** :

Towel rail shall be of C.P. Brass with two C.P. Brass brackets. The size of the rail shall be as specified. The brackets shall be fixed by means of C.P. brass screws to wooden cleats firmly embedded in the wall. Where specified, Aluminum towel rails may be used of approved quality and design.

## **TECHNICAL SPECIFICATIONS FOR INTERIOR MATERIALS**

### **SECTION – A - GENERAL**

This specification is for work to be done, item to be supplied and materials to be used in the works as shown and defined on the drawings and described herein, all under the supervision and to the satisfaction of the Competent Authority.

#### **Competent authority means Architects / Engineer in charge.**

- 1.1 The workmanship is to be the best and of high standard, use must be made of special trades men in all respects of the work and allowances must be made in the rates for doing so.
- 1.2 The materials and items to be provided by the contractor shall be approved by the Competent Authority in accordance with any samples which will be submitted for approval by Contractor and generally in accordance with the Specifications Also if products are specified in the catalogue reference, the contractor will be required to obtain the approval of the Competent Authority before using a material. The Contractor shall produce all invoices, vouchers or receipts for any material if called upon to do so by the Competent Authority.
- 1.3 Samples of all materials are to be submitted to the Competent Authority for approval before the Contractor orders or delivers the materials at site. Samples together with their packing are to be provided free of charge by the Contractor and should any materials be rejected; they will be removed from the site at the Contractor's expense. All samples will be retained by the Competent Authority for comparison with materials, which will be delivered at the site. Also, the Contractor will be required to submit specimen finishes of colours, fabrics etc. for the approval of the Competent Authority before proceeding with the work.
- 1.4 The contractor shall be responsible for providing and maintaining and boxing or other temporary coverage required for the protection of dresses or finished work if left unprotected. He is also to clean out all shelving's, out ends and other waste from all parts of the works before coverings or in-fillings are constructed.
- 1.5 Templates, boxes and moulds shall be accurately set out and rigidly constructed so as to remain accurate during they are in use.
- 1.6 All unexposed surface of timber e. g. false ceiling, backing fillets, backs of door frames, cupboard framing, grounds, etc. are to be treated with two coats of approved timber preservative before fixing or converging.
- 1.7 Only first-class workmanship will be accepted. Contractor shall maintain uniform quality and consistency in workmanship throughout.

### **2. JOINERY:**

- 2.1 Joinery is to be prepared immediately after the placing of the contract, framed up, bonded and waged up. Any portions that are wrapped or found with other defects are to be replaced before wedging up. The whole of the work is to be framed and finished in a workmen-like manner in accordance with the detailed drawings wrought and wherever required, fitted with all necessary metal ties, straps, belts, screws, glue etc. Running beaded joints are to be cross tongued with teak wherever 1½ thick double cross tongued. Joiners work generally to be finished with fine sand/glass paper.

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- 2.2 Joints:** All joints shall be standard mortise and tenon, dowel, dovetail, and cross-halved. Nailed or glued butt joints will not be permitted, screws, nails etc. will be standard iron or wire of oxidized nettle fold tenon should fit the mortises exactly.
- 2.3** Nailed or glued butt joints will not be permitted except in exceptional cases with approval of Competent Authority.
- 2.4** Where screws shown on a finished surface, those will be sunk and the whole plugged with a wood plug of the same wood and grain of the finished surfaces will be neatly punched and the hole filled with wood filler to match the colour.
- 2.5** Should joints in joiner's work open, or other defects arise within the period stated for defect liability in the contract and the clause thereof, be deemed by the Competent Authority to be due such defective joinery shall be taken down, and refilled, redecorated and/or replaced if necessary and any work disturbed shall be made good at the Contractor's expense.
- 2.6** Nails spikes and bolts shall be of lengths and weights approved by the Competent Authority. Nails shall comply with is 1959-1960 approved quality sample. Brass-headed nails are to comply with B. S. 1210. Wire staples shall comply with B. S. 1494
- 2.7** The contact surface of dowels, tennons wedges etc., shall be glued with an approved adhesive. Where glued, joinery and carpentry works are likely to come into contact with moisture, the glue shall be waterproof.

### **3.0 HARDWARE AND METALS:**

The hardware throughout shall be of approved manufacture or supplier well-made and equal to in every respect to the samples to be deposited with the Competent Authority. The contractor may be required to produce and provide samples from many different sources before the Competent Authority takes decision and he should allow his rates for doing so.

- 3.1** Fittings generally shall be brass oxidized, unless otherwise specified and shall be suitable for their intended purpose. In any case, it will have to be approved by Competent Authority before the Contractor procures it at site of work.
- 3.2** Screws are to match the finish of the article to be fixed, and to be round or flat headed or counter sunk as required.
- 3.3** The contractor should cover up and protect the brass and bronze surfaces with a thick grease or other suitable productive material, renew as necessary and subsequently clean off away on connection.
- 3.4** Aluminum and stainless steel shall be of approved manufacture and suitable for its particular application. Generally, the surface of aluminum shall have an anodized finish and both shall comply with the samples approved by the Competent Authority. All stainless-steel sheets shall be 304 S. S. Japan with gauge as specified but not thinner than 16G.
- 3.5** All steel, brass, bronze, aluminum and stainless-steel articles shall be subjected to a reasonable test at the Contractor's expense.

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**3.6** All brazing and welds are to be executed in a clean and smooth manner rubbed down and left in the flattest and tidiest way, particularly where exposed.

**3.7** Chromium plating shall be in accordance with I. S. Standard or as per approved specification for normal outdoor conditions and shall be on a base material of copper or brass.

#### **4.0 GLAZIER:**

**4.1** All glass to be of approved manufacturer complying with IS 3548-1966 as per approved quality and sample to be of the selective qualities specified and free from bubbles, smoke, air holes and other defects.

**4.2** Polished plate glass shall be "glazing glass" (G. G.) quality and that for mirrors shall be "silvering quality" (S.G.) conforming to IS 3438-1965 or as per approved sample and quality.

**4.3** The compound for glazing to metal is to be a special non-hardening compound manufactured for the purpose and of a brand and quality approved by the Competent Authority.

**4.4** While cutting glass, proper allowance be made for expansion. Each square of glazing to be in one whole sheet. On completion of work clean all glass inside and cut, replace all cracked scratched and broken panes and leave in good condition.

#### **5.0 PAINT AND POLISHES:**

**5.1** All material required for the works shall be of specified and approved manufacturer, delivered to the site in the manufacturer's container's name or trade mark with a description of the contents and colour. All materials are to be stored on the site.

**5.2** Spray painting with approved machines will be permitted only if written approval has been obtained from the Competent Authority prior to painting. No spraying will be permitted in the case of priming coats nor where the soiling of adjacent surfaces is likely to occur. The nozzle and pressure to be so operated as to give an even coating throughout to the satisfaction of the Competent Authority. The paint used for spraying is to comply generally with the specification concerned and is to be specially prepared by the manufacturer for spraying. Thinning of paint made for brushing will not be allowed.

**5.3** Wood preservative shall be Solignum or other equal and approved impregnating wood preservative and all concealed woodwork shall be treated with wood preservative.

**5.4** All brushes, tools, pots kettles etc. used in carrying out the work shall be clean and free from foreign matter and are to be thoroughly cleaned out before being used with a different type of class of materials.

**5.5** All iron or steel surfaces shall be thoroughly scraped and rubbed with wire brushes and shall be entirely free from rust, mill scale etc. before applying the priming coat.

**5.6** Surfaces of new wood work which to be painted are to be rubbed down, cleaned, down to the approval of the Competent Authority.

**5.7** Surfaces of previously painted woodwork which are to be painted are to be cleaned down with soap and water, detergent solution or approved solvent to remove dirt, grease etc. Whilst wet the surfaces shall be flatted down with a suitable abrasive and then rinsed

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down and allowed to dry. Minor areas of defective paint shall be removed by scraping back to a firm edge and the exposed surface touched in with primer as described and soaked with putty. Where woodwork has been previously painted or polished and it is to be newly polished, with scrapping, burning off or rubbing down and making surface properly.

**5.8** Surfaces of previously painted metal which shall be painted are to be cleaned down and flattened down as described in surfaces of any rust and loose scale shall be removed completely by chipping, scrapping and wire brushing back to the bare metal and touched in with primer as described.

## **6.0 UPHOLSTERY:**

**6.1** This will be of first-class standard workmanship with webbing, no-sag springs, coiled springs, padding and filling as specified on drawing. Covering fabrics will be seen, tufted, and corded as shown on the drawing and as approved by the Competent Authority.

**6.2 Cushion Vents:** Brass “cushion Vents” should be installed at the back or under side or seat cushions (especially those covered in leather vinyl plastic or very tightly woven fabric) to allow air to escape easily and to prevent torn seems.

**6.3 Materials:** Finished timber shall be of the type specified. Furnishing fabrics, colour, pattern, substance to be as specified, no variations of this will be permitted unless with prior approval of the Competent Authority.

## **7.0 POLISH:**

**7.1 French polish:** The basic material shall be shellac dissolved in mentholated spirit.

### **Preparation:**

The timber must be well sanded and cleaned and the grain filled with grain filler. Any staining must be done before applying the polish.

### **Equipment:**

The polishing rubber the most important implement in French polish shall consist of a pad of cotton wool, which acts as a reservoir for the polish, and a cover of soft white linen of cotton fabric, similar to a well-worn handkerchief which acts as a fitter. The rubber must never be dipped into the polish; it should be charged by pouring the polish on to the pad with the cover removed.

### **Application:**

Work evenly over the surface with a slow figure-of-eight motion until the timber is coated with a thin layer of polish. The object is to apply a series of thin coats, allowing only a few minutes for drying between the coats. When a level and even-bodied surface is obtained the work is ready for the second stage i.e. spiriting off.

Allow the work to stand for at least eight hours, then take a fresh rubber with a double thickness of cover material and charge it with mentholated spirit. The object of spiriting off into and remove the rubber marks and to give the brilliance of finish.

Finally, work in the direction of the grain and continue until the surface is free from smears and rubber marks then leave to harden off.

### **7.2 Wax polish:**

Wax polish shall contain silicones and driers. A good silicon wax is to be used not a creamy or spray. The timber shall be sealed first with another finish such as Ron seal, before applying wax.

#### **Application:**

Apply coat of the sealer by brush or cloth direct to the unfilled timber, working it well in and finishing evenly with the grain. Allow to dry thoroughly then sand lightly with fine abrasive paper. Apply a heavy coat of wax by cloth on flat surfaces, with a stiff brush. Work it well into the timber and finish off by stroking with the grain before leaving to harden. Leave for four hours before rubbing up with a soft brush. Finally, buff the grain with a soft cloth.

### **7.3 Transparent Coloured Polyurethane (Melamine)**

This shall be applied where natural grain of the wood is required to show. Polyurethane gives tough surface which resist chipping, scratching and boiling water.

#### **Application:**

Clean off all grease and wax with an abrasive and white spirit, this should not be applied in humid conditions. Apply the first coat, preferably of clear hard glaze with a cloth pad. Leave this to dry for at least six hours, then apply further coats with a paintbrush. If you wait for longer than 24 hours between coats, rub down the previous coat with fine glass paper or a medium grade of steel wool. Obtain a matt finish, if required, by giving a final coat of clear Reseal Matt coat.

## **8.0 TIMBER:**

- 8.1 Only seasoned Teakwood to be used unless otherwise specified.
- 8.2 Use of Rose wood wherever specified.
- 8.3 All the wood shall be properly seasoned, natural growth and shall be free from worm holes, loose or dead knots or other defects, saw die square and shall not suffer warping, splitting or other defects.
- 8.4 The moisture content shall not exceed 12%.
- 8.5 All internal frame work shall be treated with approved wood preservative.
- 8.6 All wood brought to site should be clean shall not have any preservative or other coating/covering.
- 8.7 All rejected decayed, bad quality wood shall be immediately removed from site.
- 8.8 All wood brought to site must be stacked-stored properly as per instructions.

## **9.0 PLYWOOD:**

- 8.1 Plywood/medium density fibre board/teak practical board/ Veneer shall be as specified in the approved list of manufacturers shall be used.
- 8.2 Commercial ply shall confirm I. S. I. 303 of approved make.
- 8.3 Marine plywood shall generally conform to generally I. S. 303 BWR or unless specified I.S.710-1980(BWP)

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**8.4** Particle board shall be phenol formaldehyde bonded and generally conform to I. S. 3087-1965.

**8.5** Only 3mm to 4mm thick straight-grained groups matching approved veneers shall be used. No extra claim will be entertained for veneer if found of extra thickness.

**DRAFT FORMAT OF BANK GUARANTEE IN LIEU OF ADDITIONAL SECURITY DEPOSIT**

(Site specific format shall be approved by the SBI prior to its execution)

(To be submitted on non-judicial stamp paper of appropriate value purchased in the name of the issuing Bank)

B.G. No. \_\_\_\_\_ Value ₹ \_\_\_\_\_

Date:

To

The .....  
State Bank of India,  
.....  
.....

Dear Sir,

**Bank Guarantee of ₹ \_\_\_\_\_ towards Additional Security Deposit for the work of \_\_\_\_\_ located in Mumbai.**

WHEREAS (Name and address of contractor/ vendor) (hereinafter called the Contractor) have entered into contract (for \_\_\_\_\_ State Bank of India, ..... situated at Mumbai) with SBI as mentioned vide Bank letter no..... dated .....and the correspondence and tender relating thereto which is hereinafter referred to as "the said contract" the Contractor has now agreed to produce a Bank Guarantee amounting to ₹ \_\_\_\_\_ of the \_\_\_% of contract value less earnest money deposit of ₹.....(Rupees only), to SBI ..... for performing their part of the contract obligations.

AND WHEREAS in terms of said contract, the contractor is required to furnish to SBI ..... a Guarantee of a Scheduled Bank for a value of ₹..... to be valid up to (date).

AND WHEREAS (Name of Bank and its branch) having their office at (address) the Guarantor, at the request of the contractor hereby furnishes a Performance Bank guarantee in favour of SBI ..... and Guarantees in the manner hereinafter appearing. In consideration of the premise, we (name of Bank and its branch) having our office at (address) here after called the "Guarantor" (which expression shall include it successors and assigns) hereby expressly, irrevocably &unreservedly undertaken and guarantee under that if the Contractor fails to execute the work according to his obligations under the said contract, then notwithstanding any dispute between SBI ..... and the contractor, the Guarantor shall, on demand without demur and without reference to the contractor pay to SBI ..... immediately any sum claimed by SBI ..... under the said contract up to a maximum amount of ₹ \_\_\_\_\_ (Rupees only).

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In case the amount demanded by SBI ..... is not paid within 48 hours of receipt of demand, the Guarantor agrees to pay the aforesaid amount of ₹...../- (Rupees .....only).

Such payment shall be notwithstanding any right the contractor may have directly against SBI ..... or any disputes raised by the Contractor with SBI ..... or any suits or proceedings pending in any competent court or before any arbitrator. SBI's written demand shall be conclusive evidence to the Guarantor that such payment is payable under the terms of the Contract and shall be binding in all respect on the guarantor.

The Guarantor shall not be discharged or released from the undertaking and Guarantee, by any arrangement, variations made between SBI and the Contractor and or indulgence shown to the contractor by SBI, with or without the consent and knowledge of the guarantor or by alterations in the obligations of the contractor by any forbearance, whether as to payment, time performance or otherwise.

This guarantee shall remain valid until or as may be caused to be extended by the contractor or until discharged by SBI in writing whichever is earlier.

This guarantee shall be a continuing guarantee and shall not be revocable during its currency except with the previous written consent of SBI .....

This guarantee shall not be affected by any change in the constitution of the contractor, by absorption with any other body or corporation or dissolution or otherwise and this guarantee will be available to or enforceable against such body or corporation.

In order to give effect to this guarantee SBI will be entitled to act as if the Guarantor were the Principal debtor and the Guarantor hereby waives all and any of its rights or surety ship.

This guarantee shall continue to be in force notwithstanding the discharge of the contractor by operation of law and shall cease only on payment of the full amount by the Guarantor to SBI of the amount hereby secured.

This guarantee shall be in addition to and not in substitution for any other guarantee or security for the contractor given or to be given to SBI in respect of the said contract.

Any notice by way of request and demand or otherwise here under may be sent by post or any other mode or communication to the guarantor addressed as aforesaid and if sent by post it shall be deemed to have been given at the time when it would be delivered in due course of post and in providing such notice when given by post it shall be sufficient to prove that the envelope containing the notice was posted and a certificate signed by an officer of SBI that the envelope was so posted shall be conclusive.

Signature of Contractor with Seal

These presents shall be governed by and constructed in accordance with Indian Law.

Notwithstanding anything contained hereinbefore the liability of the guarantor under this guarantee is restricted to a sum of ₹ \_\_\_\_\_.

This guarantee will remain valid up to \_\_\_\_\_ unless a demand or claim under this guarantee is made in writing against us within three months from that date, i.e. on or before \_\_\_\_\_, the guarantor shall be discharged from all liability under the guarantee thereafter.

We have power to issue this guarantee in your favour under the Memorandum and Articles of Association of our Bank and the undersigned has been duly authorised by the Bank (Bank issuing the Bank Guarantee) to execute this Guarantee Deed.

Dated the .....

SIGNED AND DELIVERED For & on behalf of (the above-named Bank)

For & on behalf of (Bankers Name & Seal)

(Signature/s with designation/s of signatories)  
(Banker's seal)

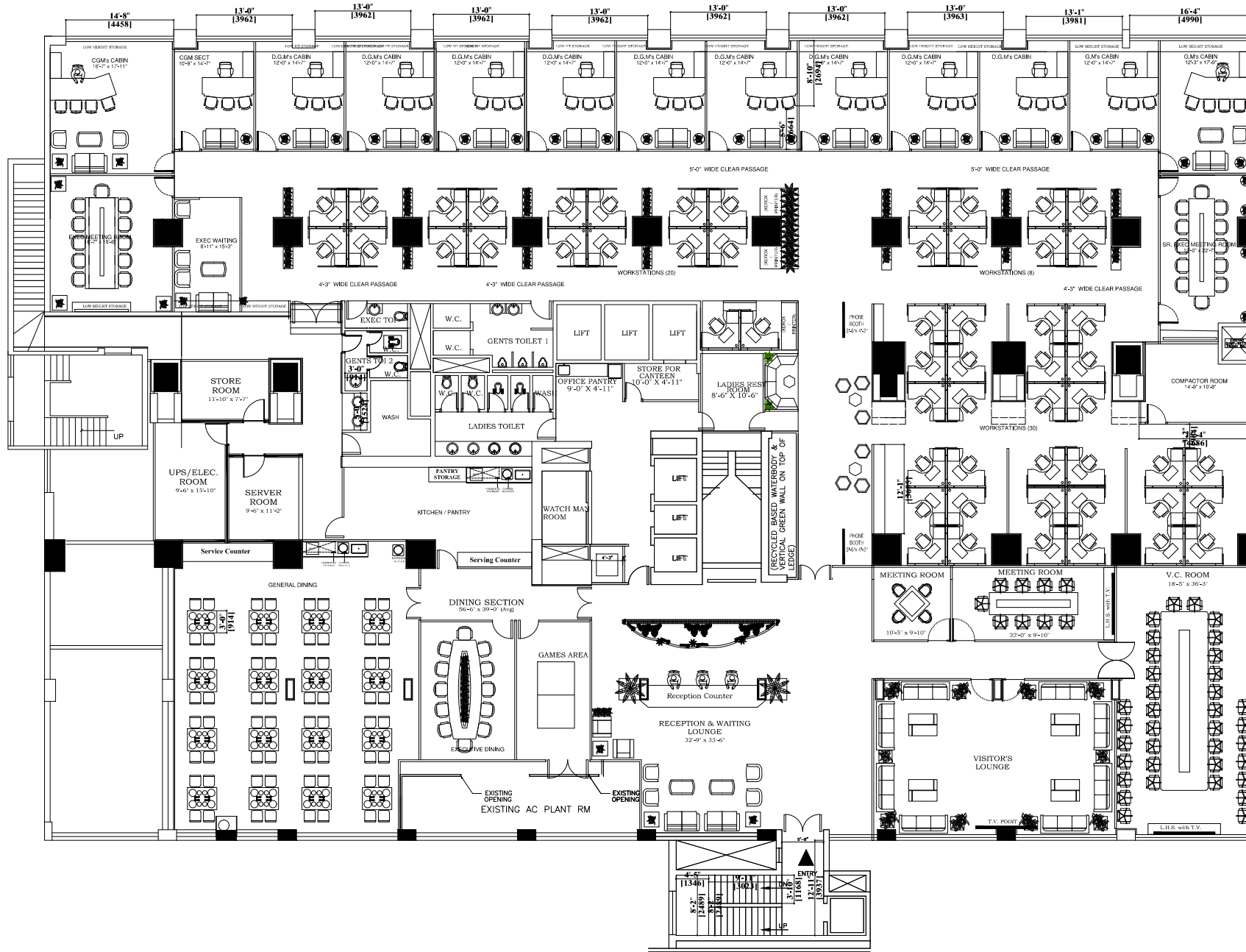
Signature of Contractor with Seal

**LIST OF MATERIALS OF APPROVED BRAND AND THEIR MANUFACTURERS**

<b>S.N.</b>	<b>MATERIALS</b>	<b>APPROVED MANUFACTURERS</b>
1	<b>Laminate</b>	Aerolam, Greenlam, Century, AICA, MICA
2	<b>Veneer</b>	Green, Century, Duro
3	<b>Plywood</b>	Duro, Century, Greenply, AICA, Samrat
4	<b>MDF Board</b>	Century MDF, Greenply MDF, Duratuff MDF
5	<b>Flush Doors</b>	Duro, Century, Green
6	<b>Calcium Silicate</b>	Ramco Hilux, Yunion Board
7	<b>Aluminum Extruded Sections</b>	Jindal, Hindalco, Bharat, Maan
8	<b>Aluminum Fittings</b>	Jindal, Hindalco, Bharat, Maan
9	<b>Drawer Sliding Fittings</b>	Godrej, Hettich, Haffle
10	<b>Readymade Computer Drawer</b>	Godrej, Hettich, Haffle Blum
11	<b>Glazing</b>	Saint Gobain, Aasahi Float, Modi Guard
12	<b>Patch Fittings &amp; Locks</b>	Dorma, Godrej, Dorset
13	<b>Handles</b>	Godrej, Hettich, Haffle
14	<b>FRP Doors</b>	Godrej, Aditya FRP, Rawji FRP
15	<b>Mineral Fibre False Ceiling</b>	Armstrong
16	<b>Tapered Edge Gypsum Plain Board</b>	India Gypsum, Gyproc
17	<b>Roller / Venetian Blinds</b>	Vista Levour, Marshall, MAC, Dack
18	<b>ACP Panels</b>	Aluco Bond, Alstrong, ALU Décor
19	<b>Acrylic Sheets</b>	Sanmati Acrylics, Acrylic Sheet India, Acry Plus
20	<b>Oil Bound Distemper</b>	Nerolac, Asian, Berger, Dulux
21	<b>Synthetic Enamel Paint</b>	Nerolac, Asian, Berger, Dulux
22	<b>Acrylic Emulsion paint</b>	Nerolac, Asian, Berger, Dulux
23	<b>Texturized Interior Paint</b>	Sandttx Matt, Dulux, Berger, Asian
24	<b>Cement Paint</b>	Snowcem, Surfacedm, Durocem
25	<b>Wooden Flooring</b>	Pergo, Xylox, Armstrong, Vista
26	<b>False Flooring</b>	Unifloor, Armstrong, Flexi Access
27	<b>Vitrified Tiles</b>	Kajaria, Simpolo, Nitco, RAK
28	<b>Anti-skid Ceramic Tiles</b>	Kajaria, Somany, Simpolo, RAK Ceramics
29	<b>Ceramic Wall Tiles</b>	Kajaria, Somany, Simpolo, RAK Ceramics.
30	<b>Waterproofing Compound</b>	Sunanda, Pidilite, Roff Chemicals, BASF, Dr. Fixit, Fosroc
31	<b>Cement (43/53 Grade),</b>	Ultratech, ACC, Lafarge
32	<b>CPVC Pipes</b>	Prince, Supreme, Astral
33	<b>PVC Waste Pipe</b>	Prince, Supreme, Astral
34	<b>Kitchen SS Sinks</b>	Nirali, Prestige, Cera, Parryware
35	<b>Sanitary Wares</b>	Jaquar, Hindware, Cera, Parryware
37	<b>Faucets</b>	Jaquar, Hindware, Cera, Parryware

- NB.
- 1) The contractor should obtain prior approval from Employer / Consultants before placing order for any specific materials. Employer may / delete any of the makes or brands out of the above list.
  - 2) All materials should conform to relevant standards and codes of BIS.
  - 3) Materials with I.S.I. mark shall be used duly approved by the STATE BANK OF INDIA Engineer / Architect.

**Note: - If any material is found to be not up to the mark, the contractor will have to produce original bills/certificate from the manufacturer or his authorized Distributor for authenticity and genuineness of the material for consideration and as per make approved by the STATE BANK OF INDIA. The same will not be considered for payment.**



PARTICULARS	AREA	NOS.
C.G.M. CABIN	270.00 Sq.Ft.	1
G.M. CABIN	218.42 Sq.Ft.	2
D.G.M. CABIN	177.00	10
ANGULAR SHAPED WORKSTATION		58
C.G.M. SECRETARIAT		✓
G.M. SECRETARIAT		✓
VIDEO CONFERENCE ROOM		✓
MEETING ROOM - I		✓
MEETING ROOM II		✓
RECEPTION		✓
SERVER ROOM		✓
UPS/ELECTRICAL ROOM		✓
PRINTER SPACE		✓
CAFETERIA / PANTRY		✓
STORE ROOM		✓
GENTS TOILET		✓
LADIES TOILET		✓

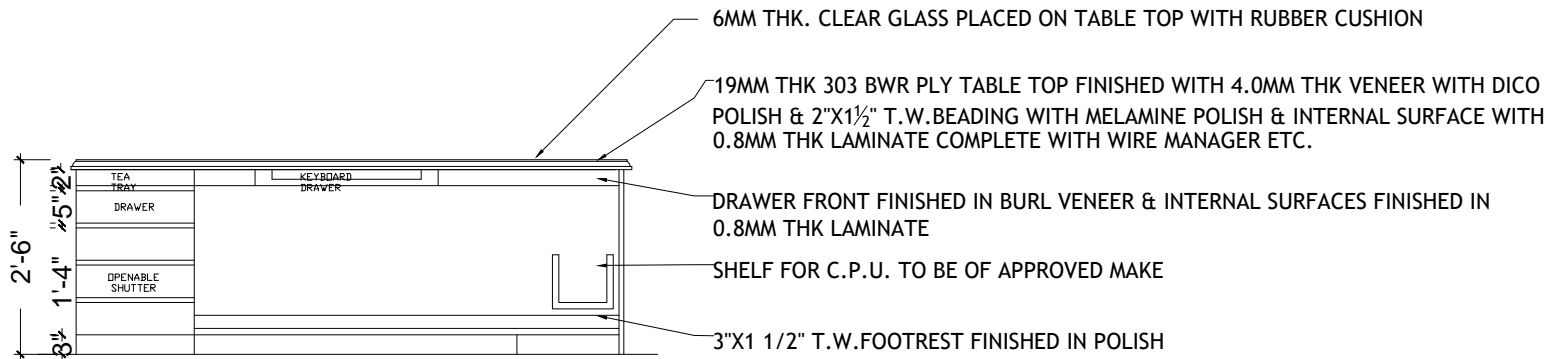
**PROPOSED INTERIOR LAYOUT PLAN FOR WEALTH DEPARTMENT OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.**

**FIRST FLOOR INTERIOR LAYOUT PLAN**

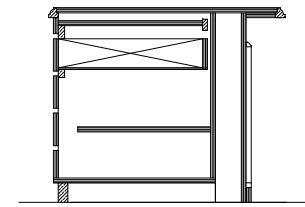
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R1	07/01/25	AS PER DESCRIPTION	SCALE : NTS
R2			DRG BY :
R3			SHIVAJI SHINDE
R4			CHKD BY : AMOL

**ALTERNATIVE # 2SH**

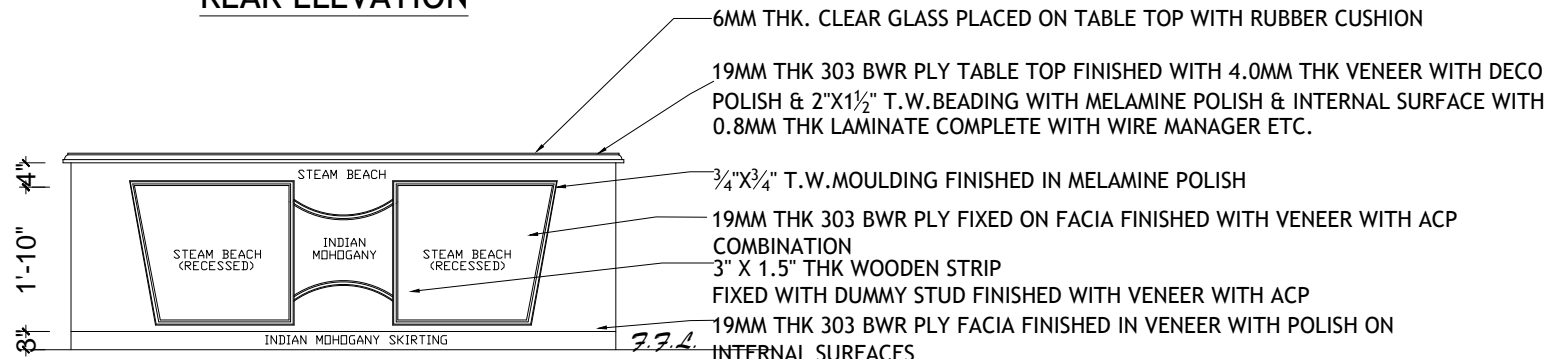
**SHETGIRI & ASSOCIATES**  
 ARCHITECTS, INTERIOR DESIGNERS, VALUERS  
 "SAFALYA", FIRST FLOOR, S.K. BOLE  
 ROAD, DADAR, MUMBAI PH.  
 24223900, 24224014.



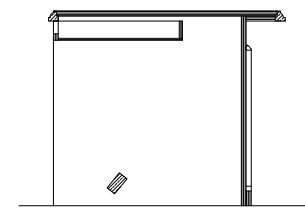
**REAR ELEVATION**



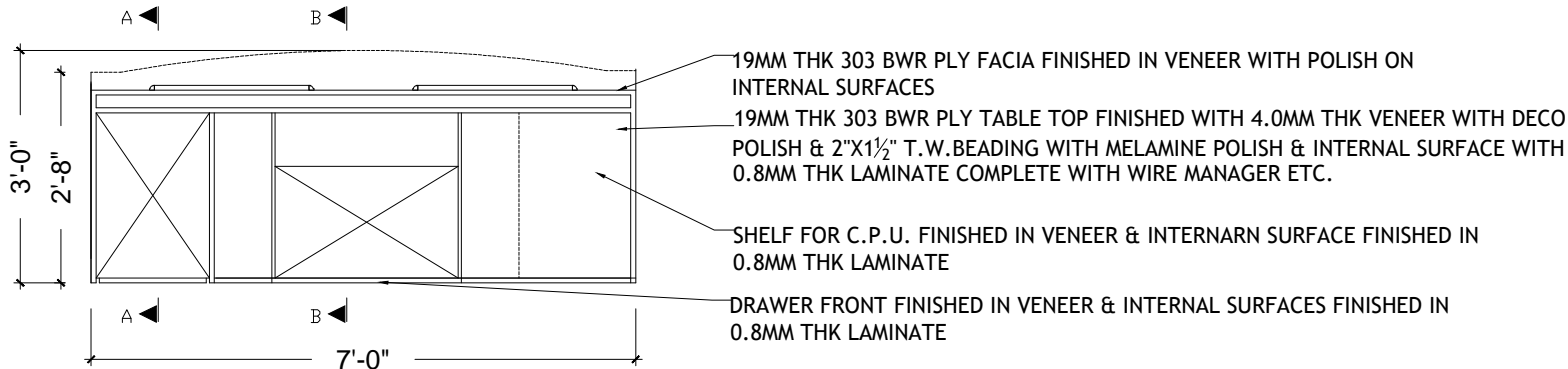
**SECTION-AA**



**FRONT ELEVATION**



**SECTION-BB**

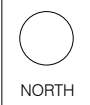


**PLAN**

**NOTE:-** THIS DRAWING SHALL BE READ IN CO-ORDINATION WITH THE TENDER SPECIFICATIONS & SHALL BE IN LINE WITH THE SAME  
 THE ELEVATION, PATTERN, FINISHING, SHAPE, SIZE ETC SHALL BE AS INSTRUCTED BY ARCHITECT / CLIENT  
 THE DRAWINGS ARE TO BE READ NOT MEASURED & TOGETHER IN CONJUNCTION WITH OTHER RELEVANT DETAILS  
**ANY DISCREPANCY NOTED IN THE DRAWING SHALL BE BROUGHT TO THE IMMEDIATE NOTICE OF THE ENGR. IN CHARGE**  
 THIS DRAWING IS INDICATIVE & MAY VARY AS PER SITE CONDITIONS. THE DESIGNS, SPECIAL EFFECTS, ELEVATION SHALL BE ALTERED BY ARCHITECT AT ANY POINT OF TIME ON SITE

PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.

**CGM TABLE**



REV	DATE	DESCRIPTION
R1		
R2		
R3		
R4		

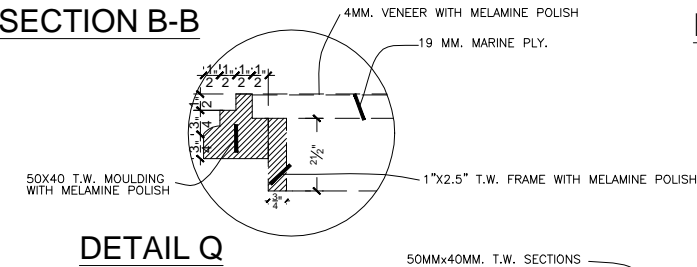
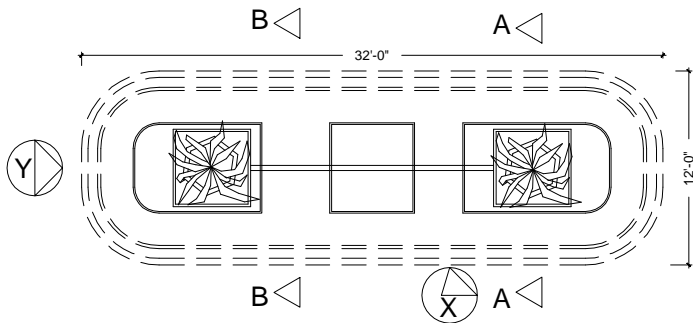
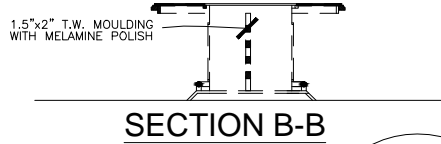
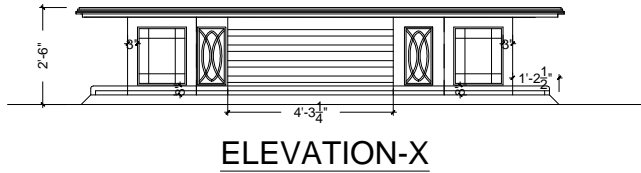
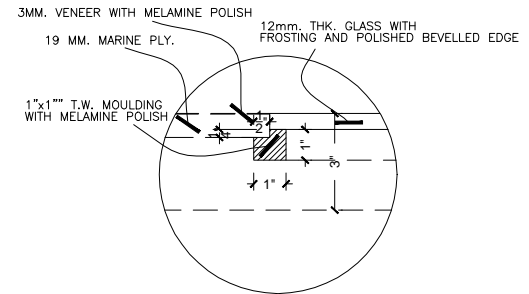
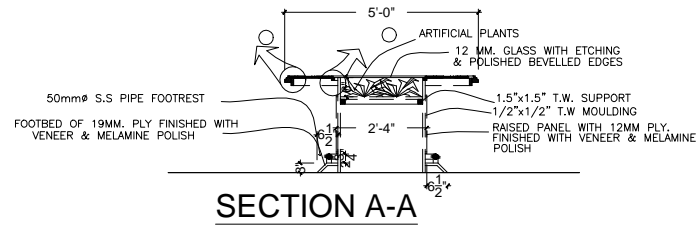
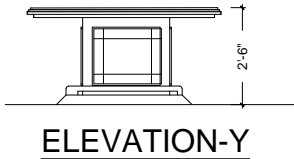
INTERIOR LAYOUT  
 CONSTRUCTION DRAWINGS

DATE: 07-01-2021	CHECKED: AMOL SHETGIRI
SCALE: N.T.S.	DRAWN: SHONAJI SHINDE
	DRAWING NO: 4

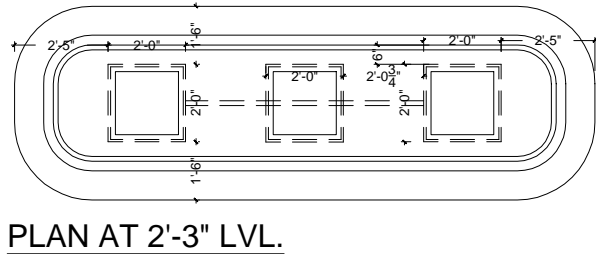
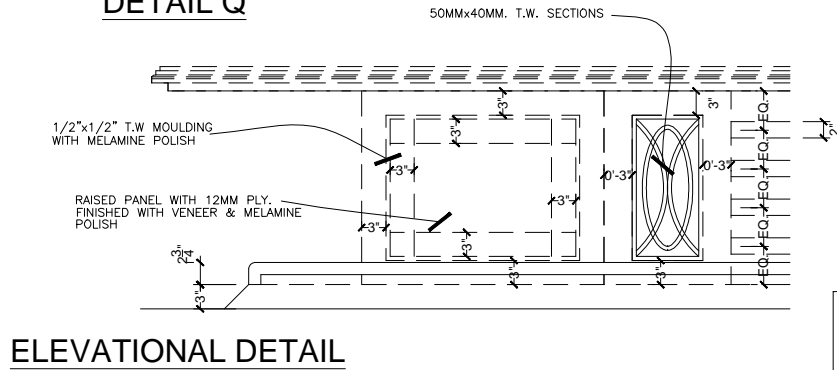
**SHETGIRI & ASSOCIATES**  
 ARCHITECTS & INTERIOR DESIGNERS

1st Floor, "Safalya"  
 S.K.Bole Road ,Dadar (west), Mumbai-400 028.  
 Tel: 24223900 , 24224014 Fax: 24316702.

E.mail : shetgiriasociates@yahoo.co.in



**PLAN AT 3'-0" LVL.**



**NOTE:-** THIS DRAWING SHALL BE READ IN CO-ORDINATION WITH THE TENDER SPECIFICATIONS & SHALL BE IN LINE WITH THE SAME  
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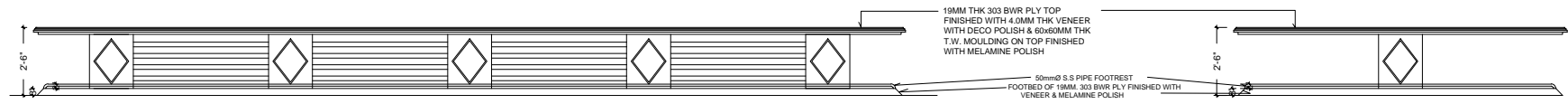
PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.

<p>NORTH</p>	REV	DATE	DESCRIPTION	DATE:	CHECKED:
	R1	6-7-2009		6-7-2009	AMOL SHETGIRI
	R2				
	R3				
	R4			SCALE:	DRAWN:
				N.T.S.	SHONAJI SHINDE
	INTERIOR LAYOUT - SIXTH FLOOR				DRAWING NO.:
	CONSTRUCTION DRAWINGS				1

**SHETGIRI & ASSOCIATES**  
 ARCHITECTS & INTERIOR DESIGNERS

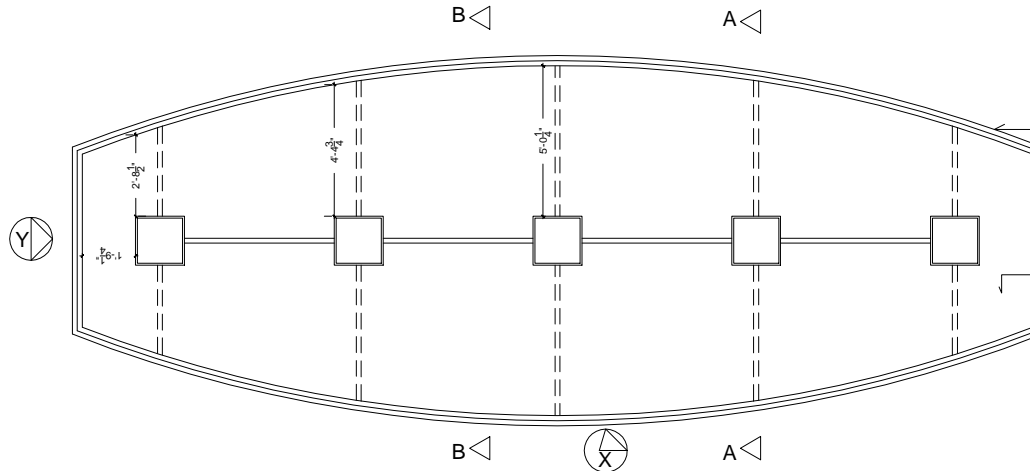
1st Floor, "Safalya"  
 S.K.Bole Road ,Dadar (west), Mumbai-400 028.  
 Tel: 24223900 , 24224014 Fax: 24316702.

E.mail : shetgiriassociates@yahoo.co.in

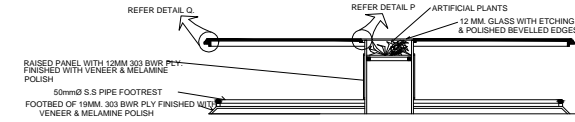


ELEVATION-X

ELEVATION-Y



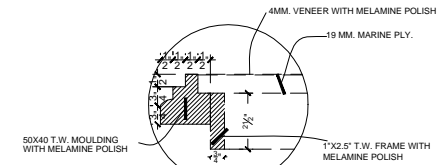
PLAN



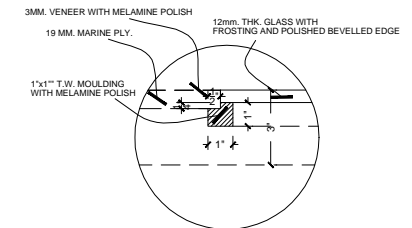
SECTION A-A



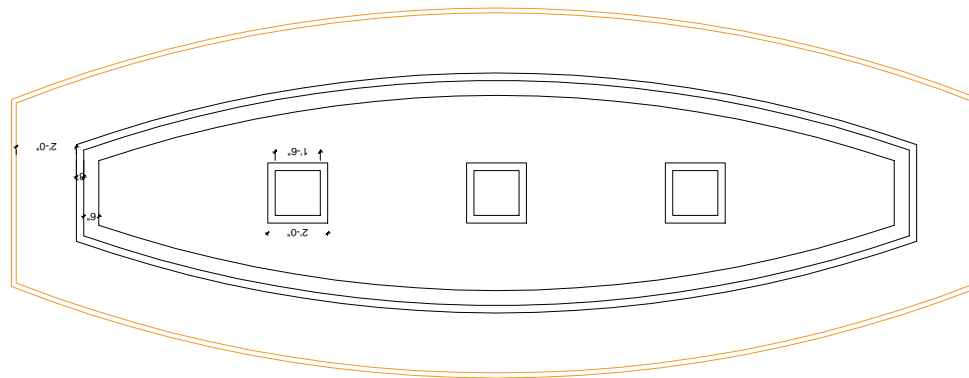
SECTION B-B



DETAIL Q



DETAIL P



V.C. ROOM TABLE PLAN

19MM THK PLY TOP FINISHED WITH 4.0MM THK VENEER WITH POLYCOAT POLISH & 60x60MM THK T.W. MOULDING ON TOP FINISHED WITH MELAMINE POLISH

19MM THK PLY TOP FINISHED WITH 4.0MM THK VENEER WITH DECO POLISH & 60x60MM THK T.W. MOULDING ON TOP FINISHED WITH MELAMINE POLISH

19MM THK 303 BWR PLY TOP FINISHED WITH 4.0MM THK VENEER WITH DECO POLISH & 60x60MM THK T.W. MOULDING ON TOP FINISHED WITH MELAMINE POLISH

NOTE:- THIS DRAWING SHALL BE READ IN CO-ORDINATION WITH THE TENDER SPECIFICATIONS & SHALL BE IN LINE WITH THE SAME. THE ELEVATION, PATTERN, FINISHING, SHAPE, SIZE ETC SHALL BE AS INSTRUCTED BY ARCHITECT / CLIENT. THE DRAWINGS ARE TO BE READ NOT MEASURED & TOGETHER IN CONJUNCTION WITH OTHER RELEVANT DETAILS. ANY DISCREPANCY NOTED IN THE DRAWING SHALL BE BROUGHT TO THE IMMEDIATE NOTICE OF THE ENGR. IN CHARGE. THIS DRAWING IS INDICATIVE & MAY VARY AS PER SITE CONDITIONS. THE DESIGNS, SPECIAL EFFECTS, ELEVATION SHALL BE ALTERED BY ARCHITECT AT ANY POINT OF TIME ON SITE.

PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.

VC ROOM TABLE



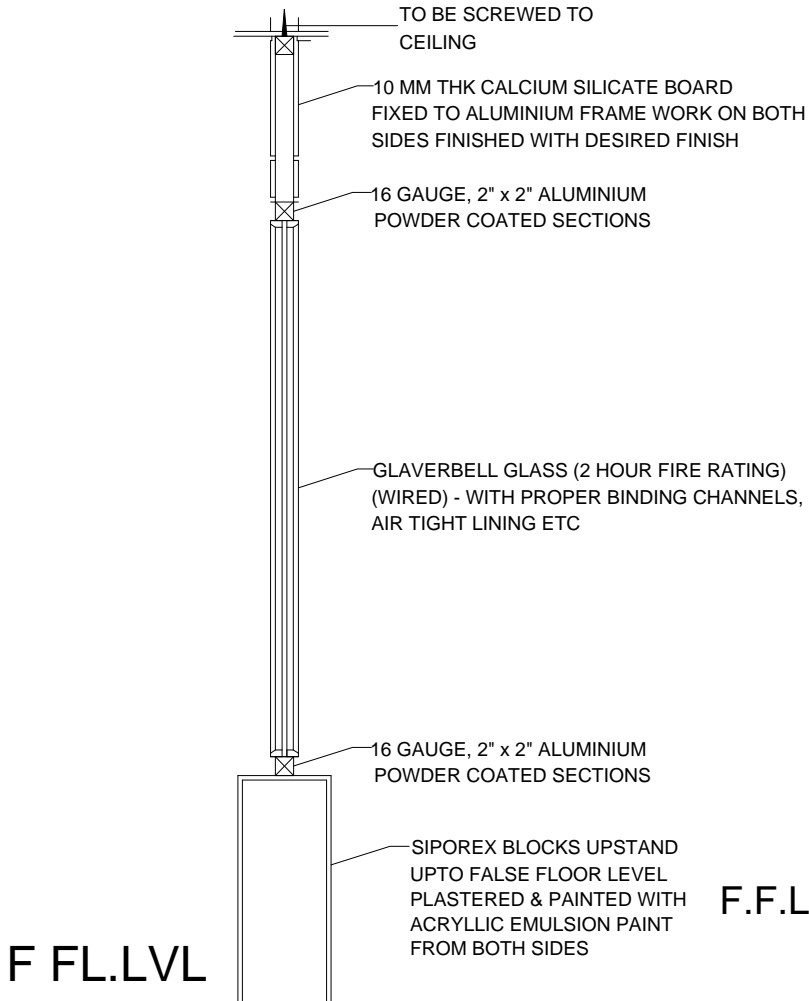
REV	DATE	DESCRIPTION	DATE:	CHECKED:
R1			23-12-2024	AMOL SHETGIRI
R2				
R3				
R4				

SCALE: N.T.S. DRAWN: SHONAJI SHINDE

INTERIOR LAYOUT  
PRELIMINARY DRAWINGS

DATE:	CHECKED:	S.HETGIRI & ASSOCIATES ARCHITECTS & INTERIOR DESIGNERS
23-12-2024	AMOL SHETGIRI	
SCALE:	DRAWN:	1st Floor, "Safalya"
N.T.S.	SHONAJI SHINDE	S.K.Bole Road ,Dadar (west), Mumbai-400 028.
	DRAWING NO.:	Tel: 24223900 ,24224014 Fax: 24316702.
	6	E.mail : shetgiriasociates@yahoo.co.in





F FL.LVL

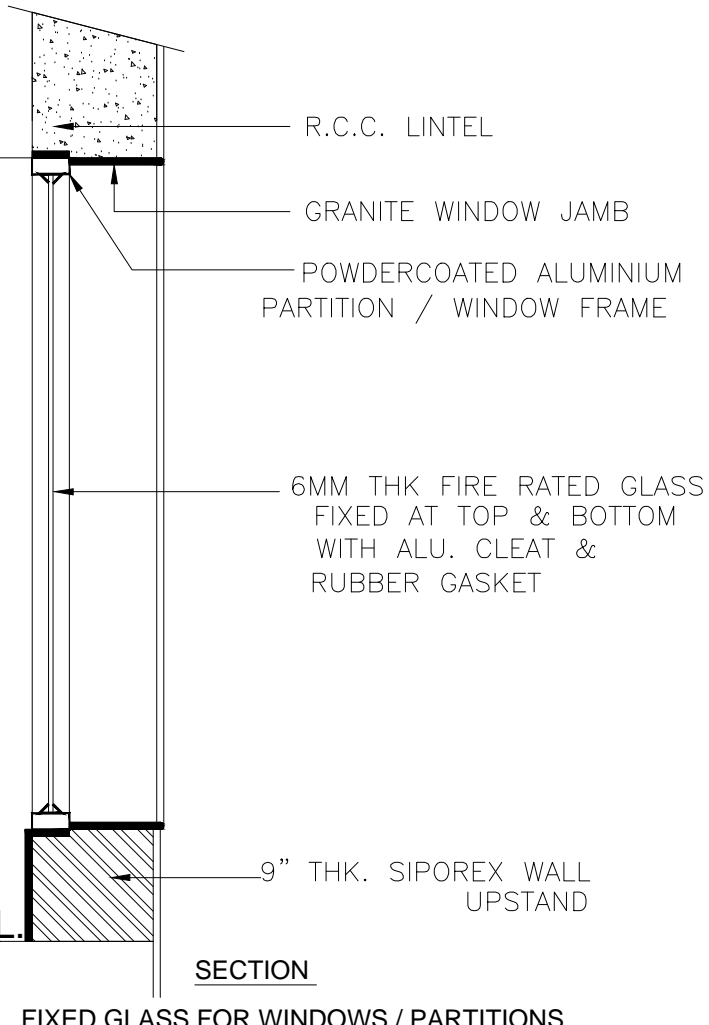
SECTION

SIPOREX-GLASS PARTITION FOR  
SERVER AREA

CHECK ON SITE

F.F.L / CILL LVL.

1'



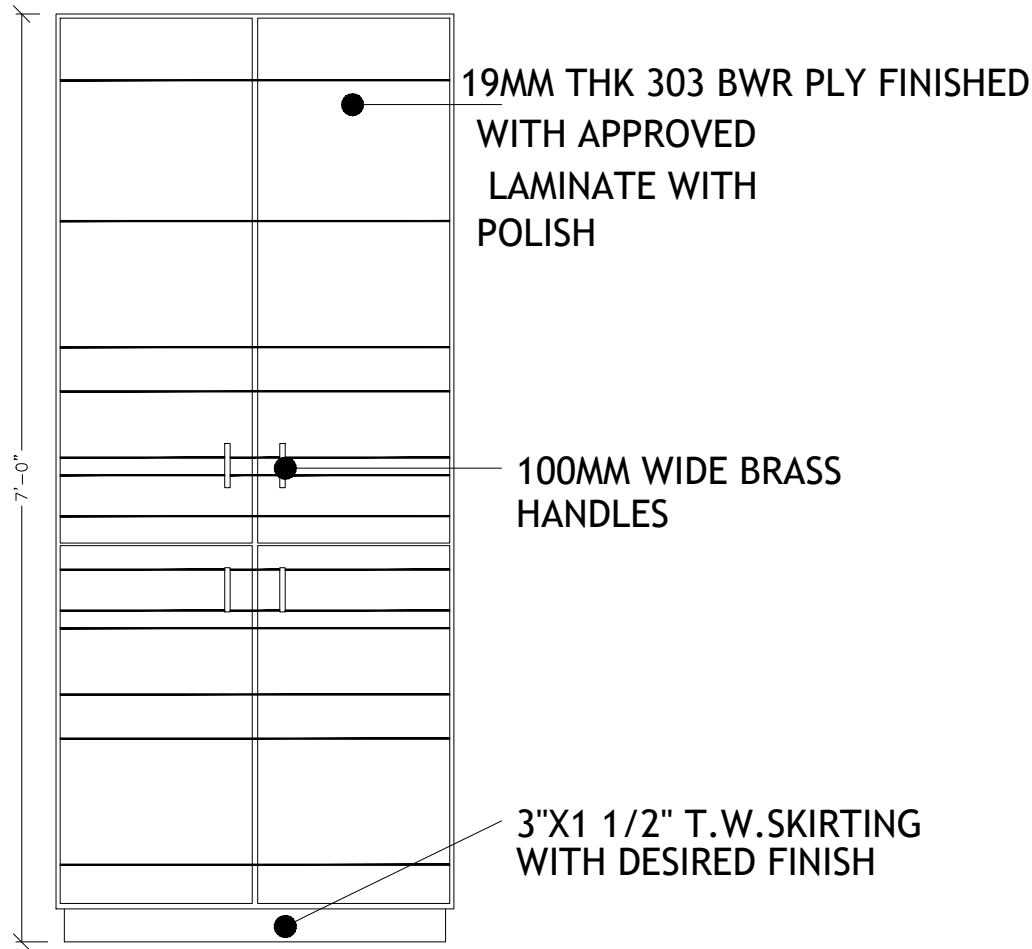
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FIXED GLASS FOR WINDOWS / PARTITIONS

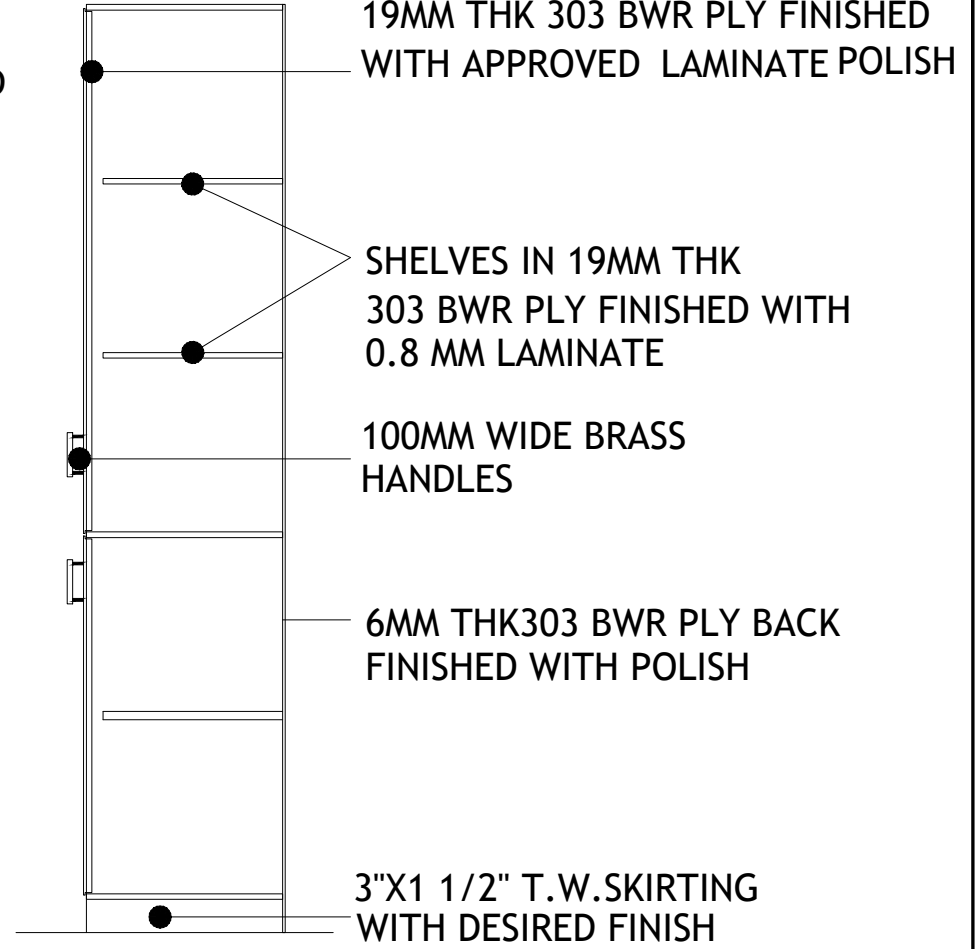
NOTE:- THIS DRAWING SHALL BE READ IN CO-ORDINATION WITH THE TENDER SPECIFICATIONS & SHALL BE IN LINE WITH THE SAME. THE ELEVATION, PATTERN, FINISHING, SHAPE, SIZE ETC SHALL BE AS INSTRUCTED BY ARCHITECT / CLIENT. THE DRAWINGS ARE TO BE READ NOT MEASURED & TOGETHER IN CONJUNCTION WITH OTHER RELEVANT DETAILS. ANY DISCREPANCY NOTED IN THE DRAWING SHALL BE BROUGHT TO THE IMMEDIATE NOTICE OF THE ENGR. IN CHARGE. THIS DRAWING IS INDICATIVE & MAY VARY AS PER SITE CONDITIONS. THE DESIGNS, SPECIAL EFFECTS, ELEVATION SHALL BE ALTERED BY ARCHITECT AT ANY POINT OF TIME ON SITE.

PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF  
INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR,  
MADHULI, WORLI, MUMBAI.

REV	DATE	DESCRIPTION	DATE:	CHECKED:	SHETGIRI & ASSOCIATES ARCHITECTS & INTERIOR DESIGNERS
R1			07-01-2020		
R2					
R3					
R4			SCALE: N.T.S.	DRAWN: SHONAJI SHINDE	1st Floor, "Safalya" S.K.Bole Road ,Dadar (west), Mumbai-400 028. Tel: 24223900 . 24224014 Fax: 24318702.
INTERIOR LAYOUTS			DRAWING NO.	5	E.mail : shetgiriasociates@yahoo.co.in
CONSTRUCTION DRAWINGS					



**FRONT ELEVATION**



**SECTION**

**FULL HEIGHT STORAGE**

**NOTE:-** THIS DRAWING SHALL BE READ IN CO-ORDINATION WITH THE TENDER SPECIFICATIONS & SHALL BE IN LINE WITH THE SAME THE ELEVATION, PATTERN, FINISHING, SHAPE, SIZE ETC SHALL BE AS INSTRUCTED BY ARCHITECT / CLIENT THE DRAWINGS ARE TO BE READ NOT MEASURED & TOGETHER IN CONJUNCTION WITH OTHER RELEVANT DETAILS ANY DISCREPANCY NOTED IN THE DRAWING SHALL BE BROUGHT TO THE IMMEDIATE NOTICE OF THE ENGR. IN CHARGE THIS DRAWING IS INDICATIVE & MAY VARY AS PER SITE CONDITIONS. THE DESIGNS, SPECIAL EFFECTS, ELEVATION SHALL BE ALTERED BE ARCHITECT AT ANY POINT OF TIME ON SITE

PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.

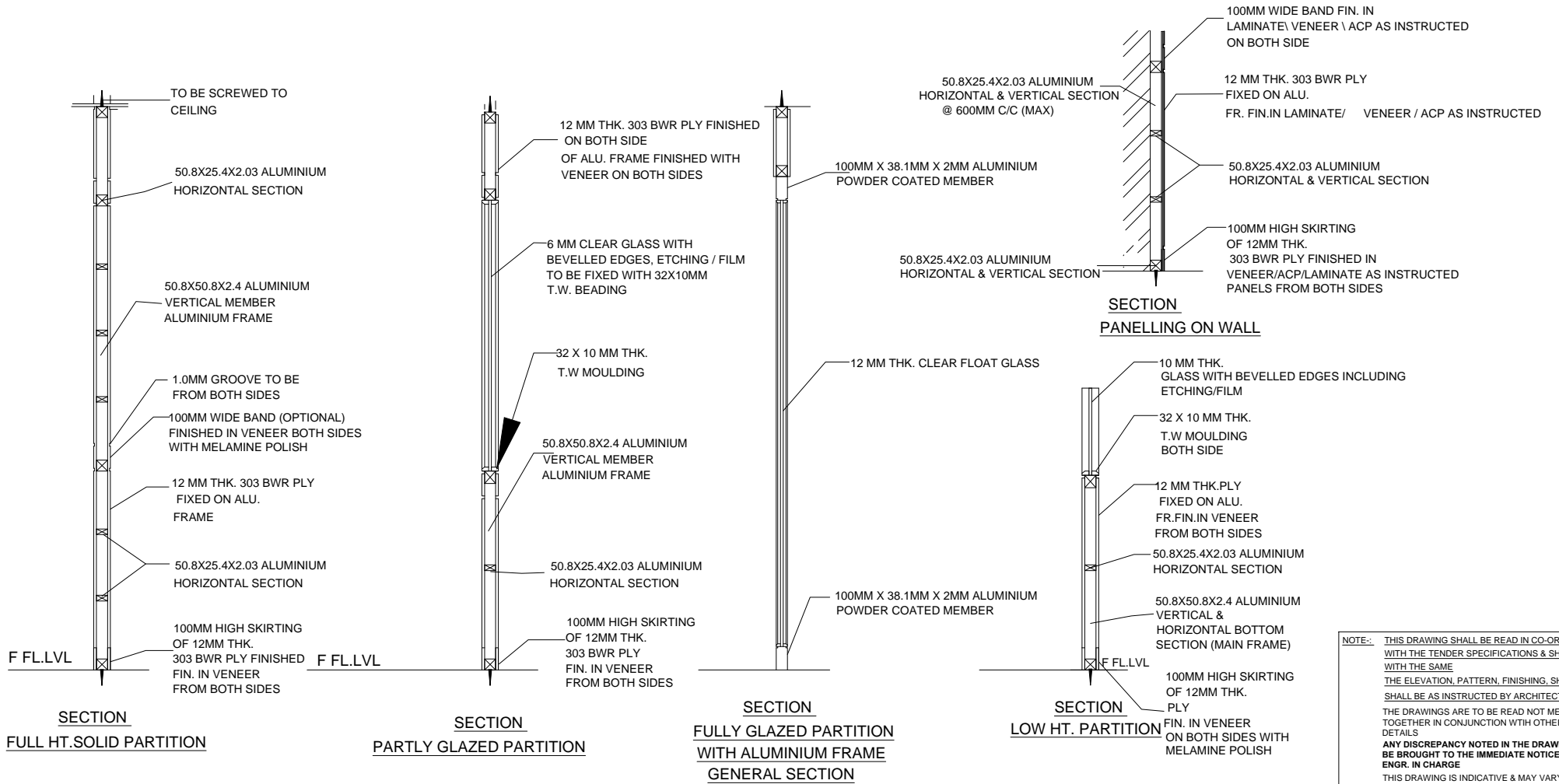
FULL HEIGHT STORAGE UNIT



REV	DATE	DESCRIPTION
R1		
R2		
R3		
R4		

DATE: 23-12-2024	CHECKED: AMOL SHETGIRI
SCALE: N.T.S.	DRAWN: SHONAJI SHINDE
DRAWING NO: 2	

**SHETGIRI & ASSOCIATES**  
ARCHITECTS & INTERIOR DESIGNERS  
1st Floor, "Safalya"  
S.K.Bole Road ,Dadar (west), Mumbai-400 028.  
Tel: 24223900 , 24224014 Fax: 24316702.  
E.mail : shetgiriasociates@yahoo.co.in




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**PARTITIONS**

**PROPOSED INTERIOR RENOVATION & FURNISHING WORK OF INDIAN INSTITUTE OF STATE BANK OF INDIA AT FIRST FLOOR, MADHULI, WORLI, MUMBAI.**

**PARTITION DETAILS**

 NORTH	REV	DATE	DESCRIPTION	DATE:	CHECKED:	<b>SHETGIRI &amp; ASSOCIATES</b> <b>ARCHITECTS &amp; INTERIOR DESIGNERS</b> 1st Floor, "Safalya" S.K.Bole Road , Dadar (west), Mumbai-400 028. Tel: 24223900 , 24224014 Fax: 24316702. E.mail : shetgiriassociates@yahoo.co.in
	R1			23-12-2024	AMOL SHETGIRI	
	R2					
	R4					
INTERIOR LAYOUTS				SCALE:	DRAWN:	DRAWING NO. 3
CONSTRUCTION DRAWINGS				N.T.S.	SHONAJI SHINDE	

<b>PRICE BID (BOQ)</b>					
<b>PROPOSED INTERIOR RENOVATION &amp; FURNISHING WORKS FOR STATE BANK OF INDIA, WEALTH DEPARTMENT, 1ST FLOOR, MADHULLI, WORLI, MUMBAI.</b>					
<b>S. NO.</b>	<b>DESCRIPTION OF WORKS</b>	<b>QTY</b>	<b>UNIT</b>	<b>UNIT RATE</b>	<b>AMOUNT IN INR</b>
<b>SCHEDULE I - CIVIL &amp; INTERIOR WORKS</b>					
<b>SECTION A :- CIVIL WORKS</b>					
	<b>General Notes:</b> Rate should be inclusive of material,labour,tools, machinery, scaffolding, final disposal of debris ,cleaning cutting wastage etc. all taxes, transportation etc. complete. (Excluding GST) GST will be paid as Applicable at the time of payment of Bills. Contractor shall get all materials approved from Architect/ Bank before using it on site from approved make list. Contractor shall not use any material beyond approved make list. Contractor shall read all specifications carefully and visit site before quoting the rates and understand the scope of work. In case any discrepancy / interpretation Bank's decision will be final and binding to the contractor. Dismantling of existing Furniture as per instruction by Architect / Engineer, all temporary provision for successful running of branch during renovation work, also all unserviceable materials/ debris etc shall be disposed off to common dumping ground as permitted by Corporation is in the scope of contractor at no extra cost and contractor should consider this while quoting for the bid with the estimated amount. Contractor shall record stage wise photographs of work and share with Architect and Bank regularly. Works shall be execute on ground floor, first floor with terrace area.				
1	<b>Demolition / dismantling &amp; Buyback</b>				
	Demolishing / Dismantling of the existing Flooring, dado, tiling, partitions, false ceiling, Platforms, counters, stone or brick work, plaster, bunds, walls, doors, windows, Glass Facade, Glazing of any type, ACP Cladding, MS rolling shutter, Louvers etc, fans, lighting fixtures, cables & wires, AC ducts & grills, AC accessories, Electrical Accessories, fittings, fixtures, table & credenzas, storage units of all types, furniture & fixtures, workstations, Interior items, fixed & loose items etc and any other material required for working on site & compliance of all the activities on site including removal of debris from site including removing the same with utmost care to ensure no damage in case of fixtures & fittings & buyback of the serviceable items as per the directions of the Client / Architect	-1	Lump sum	150,000.00	(150,000.00)
	<b>Note:</b> - The rate quoted for the item of Demolition & Dismantling to include removal of day-to-day debris generated from site during the course of execution of the project and disposal of the same to the nearest dumpyard within the MCGM designated location upto any lead and lift including carriage of debris, loading-unloading etc complete at regular intervals. Housekeeping on day to day basis from the start of project till handover of completed site to SBI shall be included in the quoted rate for the item of Demolishing / Dismantling. The demolition rate to be inclusive of carting away, all royalties etc complete.				
2	<b>Siporex AAC Block Partitions</b>				
	100mm (4") Siporex AAC Block	58	Sq. Mtr.	1,100.00	63,800.00
	Providing and constructing autoclaved 100 mm thick wall of 100mmX 240mm X 600mm Siporex Block in proper line and levell, at all levels in cement mortar 1:4 (1 cement and 4 river sand) using standard size of blocks, including all scaffolding, staging, curing, all lifts, raking of joints, all labour, hire and fuel charges for all tools and plants employed etc. complete as directed. rate shall include providing concrete binders in proportion 1:2:4, 100mm thk RCC binder, reinforced with 2 nos of 6mm dia Fe 415 bars, RCC binder to be at every 1mtr interval from floor level. the rate to be inclusive of cost of reinforcement and formwork, cover block for reinforcement and all other incidental charges etc., all complete and as directed.				
	The rate shall also include closing the gap between the masonry and rcc beam/ slab finished to required slope as directed by engineer in charge. Note : - the width of joints not to exceed 10mm. The Siporex block to withstand the standard fire for 240mins under uniform compressive load of 15 kg/m2 as per IS: 3809, BS : 476 part 20 and ISO 834 with certification.				

3	<b>Brick Wall Partitions</b>				
	150mm (6") thk brick Wall	4	cum	8,500.00	34,000.00
	Providing and constructing 150mm thk Half brick masonry at all height & levels, places wherever required with best quality locally available machine moulded, chimney burnt bricks (As per the sample approved by Architect or Engineer in charge & preferably flyash Bricks having Minimum crushing strength of 35 Kg/Cm <sup>2</sup> ) in CM 1:4 including Providing 100mm thk RCC binder, reinforced with 2 nos of 6mm dia Fe 415 bars, RCC binder to be at every 1mtr interval from floor level, including necessary scaffolding upto any height, striking joints, curing etc complete as directed. The bricks shall conform to the relevant IS codes.				
4	<b>Cement plaster</b>	560	Sq. Mtr.	600.00	336,000.00
	Providing and applying 12mm thk internal cement plaster in patches or long stretches in C.M. 1:4, including addition of water proof chemicals of approved makes, providing bands, drip moulds, grooves, scaffolding, curing for 7 days, after cement plaster has dried out etc. complete. The rate quoted shall be including necessary scaffolding upto any height, striking joints, curing etc complete as directed.				
5	<b>POLYMER MODIFIED MORTAR/CONCRETE</b>	50	Sq. Mtr.	1,300.00	65,000.00
	Carefully breaking & removing the existing damaged / corroded R.C.C. Columns, beam, slabs, chajjas, paradis, fins etc including disposal & cating away of the debris, cleaning etc in the patches or long stretches by means of light chisel upto 50mm depth, upto the level of reinforcement without damaging brickwork, plaster in the vicinity, including supplying, providing & erecting in position the necessary scaffolding, cleaning, disposing of debris etc complete & then providing and applying polymer modified cementitious mortar treatment upto 50 mm thk. comprising of following operations: with steel props to support the structure provisionally during repair and jacketing etc. and maintaining them in position till required as directed by the consultant.				
	a) Reinforcement treatment coat				
	# Scrapping reinforcement with wire brush and cleaning the same from all sides by light tapping, wire brushing and emery paper.				
	# applying Rusticide Rustprime/Ruskil A or approved equivalent in one or more coats as directed as per manufacturers specification, washing with water.				
	b) Bond coat				
	# Providing & applying Polyalk Fixoprime or equivalent and Cement (1:1.25) to exposed steel bars in two coats as per manufacturer's specifications and brushable consistency for bonding old and new concrete surfaces.				
	Providing and applying bonding coat of POLYALK EP or equivalent and Cement (1: 1.25) to the entire concrete surface.				
	c) Mortar application				
	Applying Polymer modified mortar/concrete treatment as per manufacturer's instructions in layers of thickness not exceeding 20 mm (applying bonding coat at every layer) upto profile of concrete in the vicinity by applying Hand pack Polymer Modified Mortar by mixing 1 part by weight of "POLYALK EP" or equivalent with 5 parts by weight of cement and 15 parts by weight of well graded sand and water to achieve the desired consistency [Sand Grading IS383, Zone II, Silt content <6% ]				
	Including curing, scaffolding, cleaning etc. complete				
	Note:				
	If the depth of polymer modified mortar/concrete exceeds 50 mm, then quantity shall be paid by considering multiplication factor = (actual depth) / 50mm for additional thickness.				
	At a time apply mortar layer not more than 20 mm thick. The mortar should be prepared using mechanical mixers / stirrers & should be well compacted and finished using appropriate methods. The rate to include for necessary compaction with mechanical plate vibrator etc. complete to the satisfaction of the EIC.				
	Rate shall include providing Anticorrosive Treatment to Reinforcement by IPNET RB Application of two coats of IPNET RB (CBRI Know how) on expose reinforcement in two coats with time interval of minimum 4 hours between each coat. The application shall be by brush. (Mode of measurement- per sqmt of breaking area of concrete )				

6	<b>Waterproofing for Toilet Blocks and Pantry Area</b>	50	Sq. Mtr.	1,200.00	60,000.00
	Providing & applying waterproofing treatment using brick bat coba in cement mortar 1:4 in layers with water proof chemical slurry and mortar maintaining an average thickness of 115mm in the sunken or non-sunken areas of W.C./baths as per India Waterproofing Co.'s specifications including a coat of SBR polymer or equivalent, topped by a layer of C.M. 1:4 maintaining the necessary slopes etc. complete ( Work to be got carried out from approved waterproofing agancy with minimum guaranteed for 10 years) Rate shall include breaking of the existing water-proofing/brick bat coba and disposal of debris outside the complex at approved Municipal dumping yard with all lead and lift as per the directions of the project architect and Engineer in-charge.				
7	<b>PCC / I.P.S. up to 4" ht.</b>	3	cum.	7,000.00	21,000.00
	Providing and laying in position PCC of minimum 4" beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect				
8	<b>Granite window framing</b>	200	R.Mtrs	2,700.00	540,000.00
	Providing and Fixing upto 9" wide window framing in double patti in 18mm thk approved Black Granite slab including nosing and with cement mortar base for cill / jamb / lintel level including edge polishing etc in step pattern complete as per drawings & directions.	30			
9	<b>Granite Toilet Door Frame ( 6 ")</b>	40	R.Mtrs	1,800.00	72,000.00
	Providing and fixing approved Mirror polished approved premium range Black Granite slab for upto 6" wide toilet door frames in single or double patti (double patti would be considered and measured as single length X total width irrespective of single or double thickness), urinal partitions, jambs, strips & door frames etc in 18mm thk granite over and including avg 25 to 30mm thk 1:4 C.M (1 cement : 4 coarse sand) bedding in proper line & level including the joints to be finished flushed in matching colour cement, curing, washing, cleaning etc including half round polished nosing complete as per drawings & details, and as directed. (BR of Granite = 135/Sq. Ft.)				
10	<b>Precast Reinforced Cement Concrete Lintels</b>				
	Providing, hoisting and fixing in position <b>precast reinforced cement concrete lintels</b> including the cost of required centering, shuttering and also the cost of reinforcement, with 1:1.5:3 (1 cement : 1.5 coarse sand (zone-III) : 3 graded stone aggregate 20 mm nominal size).	2	C.Mts	12,000.00	24,000.00

11	<b>FLOORING :</b>				
a	<b>Vitrified Tiles 900 x 900</b>	650	Sq. Mtr.	2,200.00	1,430,000.00
	Providing and laying 9mm thk Mirror finish super-premium range, digital and full body high gloss Vitrified Tiles/ Glazed Vetrified Tiles of approved makes of size 900 x 900 x 9mm thk (Min) laid in required pattern on an avg. 25 to 30mm thk. bed of 1:4 cement mortar (1 cement : 4 coarse sand) including inlay design work in 18mm thk Granite stone and contrast dark coloured Vitrified tiles approved by the Architects and as per approved design in proper line and level, including neat white cement float, filling joints with neat cement slurry, of appropriate colour, curing and cleaning complete. Tiles shall be free of any variation in colour or texture, and laying plastic sheet & 18mm thk. POP protective cover on flooring and removing when directed. Johnson, Kajaria, Ntico, Smpolo or equivalent approved make.				
	The cost to include sealer treatment of approved makes. The rate shall be inclusive of application chemicals and Roffe whereas Rate shall also include providing and laying in position PCC of upto 4" thk beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect etc complete. (Basic rate of tiles = Rs. 135 / Sq Fts.)				
b	<b>Anti-Skid Vitrified Tile Flooring for pantry / toilet : (600mm x 600 mm)</b>	76	Sq. Mtr.	1,500.00	114,000.00
	Providing and laying 1st quality Vitrified Tiles/Anti-Skid tiles of approved make and shade of size 600mm x 600mm and thickness as per manufacturer's standards and as approved by Architect / Engineer in charge in flooring in a required pattern and design over and including 25 to 30 mm thk. bed of Cement Mortar 1:4 ( 1 Cement : 4 Coarse sand ) in proper line and level including neat white cement float, filling joints with neat cement slurry, of appropriate colour, curing and cleaning complete. Tiles shall be free of any variation in colour or texture, and laying plastic sheet & 18mm thk. POP protective cover on flooring and removing when directed. The cost to include sealer treatment of Aqua mix brand. (Makes: - Johnson, Kajaria, Ntico, Smpolo or equivalent approved by the Organisation).				
c	<b>Vitrified Tile for Dado - Toilet area &amp; Pantry (450 mm x 600 mm)</b>	212	Sq. Mtr.	1,400.00	296,800.00
	Providing and laying 1st quality Vitrified tiles of approved make and shade including Digital Print and bevelled edge Tiles of size 450x600 for toilet dado including backing plaster in CM 1:4 as per manufacturers design brochure and in combination of two design tiles including filling the joints with epoxy based joint filling compound, base coat etc complete and upto a height of 7'-0" as per the instructions of the consultant. (Makes: - Johnson, Kajaria, Ntico, Somany, Smpolo or equivalent approved by the Organisation).				
d	Providing and laying Laminated Wooden flooring of approved make such as Pavimento, Xylos, Finsa or equivalent approved make on floor as per the drawing & instructions on levelled floor surface of the application area, which shall be done by providing and laying in position PCC of upto 4" thk beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect and which shall be included in the item rate quoted herein, insulating the areas, surface preparation, bedding, finishing, polishing, cleaning etc complete as per the directions and instructions of the Consultant.	172	Sq. Mtr.	2,700.00	464,400.00
	The rate shall be inclusive of edge moulding & end strips at the junction between the floor and the vertical surfaces and mouldings, T grooves etc complete as per the directions / to the satisfaction of the Architect including backing etc complete as directed by the Architect. (Basic rate of tiles = Rs. 180 / Sq Fts.)				

e	Providing and fixing approved Mirror polished premium range Granite slab flooring (Telephone Black / Black Pearl or equivalent) for toilet flooring, inlay & design works, staircase treads & risers, landings, bunds, urinal partitions, jambs, strips & door frames etc in 18mm thk granite laid over and including avg 25 to 30mm thk. 1:4 (1 cement : 4 coarse sand) CM bedding in proper line & level including the joints to be finished flushed in matching colour cement, curing, washing, cleaning and chipping of existing floor and laying plastic sheet & 18mm thk. POP protective cover on flooring and removing when directed as req., including moulding and 1/8" grooves complete whereas rate to include levelling which shall be done by providing and laying in position PCC of upto 4" beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect and as per drawings & details as directed.	42	Sq. Mtr.	3,500.00	147,000.00
f	Providing and laying in position approved Granolithic high gloss, super premium range 18mm thk Italian Marble flooring in sizes and pattern including design inlay work in approved dark coloured italian marble (Strip design or irregular dark marble design patterns) wherever specified as shown in the drawing over and including avg. 25 to 30mm thk. 1:4 white cement mortar bedding, joints finished flush in matching colour cement, curing, rubbing, machine mirror grade polishing, washing, cleaning and sealer for anti-stain of Aqua mix brand etc, chipping of existing floor as required, complete and laying plastic sheet & 18mm thk. POP protective cover on flooring and removing as per the directions of Architect. The rate to include levelling which shall be done by providing and laying in position PCC of upto 4" beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect and as per drawings, details and as directed. (Basic Rate of Italian Marble : Rs. 450/- Sq.ft.)	355	Sq. Mtr.	5,500.00	1,952,500.00
g	Providing and Laying Synthetic high grade & high class designer & Imported Carpet of KRAUS, SHAW, BRINTONS, ECOSOFT INDIA PVT. LTD or equivalent make, 26 Ounces. The carpet shall be in Carpet Tile form with Cushion Backing PVC free tile with fibre-glass of required size. The necessary foam backing of maximum upto 10 mm foam incase of undulations (If any) shall be provided as per the directions & instructions of the Consultant & shall possess requisite chair protection properly. The tile shall be designer in various colors, texture etc as per the directions of the Architect and whereas the rate to include levelling which shall be done by providing and laying in position PCC of upto 4" beneath the floor finishes wherever level difference is observed to attain a uniform level all throughout the premises as per directions & instructions of the Architect, underlay's, adhesive etc complete.	220	Sq. Mtr.	2,250.00	495,000.00
	The carpet shall be U.V resistant, wear resistant, have dimensional stability, anti-slip, stain proof, anti-shock, spill protection etc. The carpet tile shall be 100% synthetic woven ultrail nylon with antimicrobial protection. The other properties such as gauge stitches, stain repellency, soil resistance, etc. shall comply with the carpet weight & shall be as per manufactures specifications etc complete. (Basic rate shall be Rs. 180 / Sq. Fts).				
h	<b>Anti static vinyl flooring: Electrical &amp; UPS area, AHU room</b>	31	Sq. Mtr.	1,350.00	41,850.00
	Providing & fixing antistatic vinyl flooring 2mm thk of approved shade in roll form including levelling of surface with POP if any on which it is to be applied as per the instructions of the Architect				



j	<b>False flooring for server room</b>	30	Sq. Mtr.	4,500.00	135,000.00
	Providing and fixing Raised Access flooring system (False floor) Unittile laminated HPL panel with edge support rigid grid understructure system. Access floor system to be installed shall provide a maximum finished floor height of 600 mm from the existing floor level. The system shall provide for suitable Floor tiles, pedestals and stringers designed to withstand various static loads and rolling loads. The entire Access floor system shall be made from steel cementitious in filled. Access Floor tiles shall provide for adequate fire properties, acoustic barrier and air leakage resistance. The system shall be able to accept an approved laminated floor covering i.e. Anti-static High pressure laminate with PVC beading on the edges of the tiles. The rate shall be inclusive of tile lifter and wire manager as per the requirements. <b>Upto a height of 600mm Level using USF 600 tiles from existing floor.</b>				
12	<b>Pantry Counter</b>				
	Providing and erecting pantry counter 2'-0" wide pantry / kitchen counter with cudappa undercarriage frame, 1-1/2" thk with one side polished and top to be finished with 18 mm thk high gloss mirror polished black pearl granite in the desired shape & size including half round nosing & grooves. The undercarriage frame of the counter shall be in sandwich cadappa verticals with granite facia of size 6" to be fixed to verticals and top of the counter & nosing with edge polish including a cut-out for sink etc complete as per directions & instructions of the Architect.	10	R.Mtrs	10,500.00	105,000.00
	The rate shall be inclusive of providing & fixing modular S.S service trolleys below with standard sliding channel sections as per manufacturers specifications for the complete length and height of the counter including S.S Sink of niral make of size 24" X 17" X 8" including shutters in marine plywood beneath the entire length of the counter including the necessary t.w frame and to be finished with decorative 1.5 mm thk laminate and including necessary water supply & drainage pipe lines, plumbing fittings & fixtures of jaguar or approved equivalent make etc complete as per the directions and to the satisfaction of the Architect/Engineer in-charge.				
13	<b>Sanitary Fittings &amp; Fixtures</b>				
	Providing and fixing in position CP sanitary fittings of approved make as follows.				
i	<b>European type water closet (EWC)</b>	9	Nos.	15,000.00	135,000.00
	Supplying & Fixing in position White colored Wall mounted EWC (Approximate size 36X34.5X54.5cms) including its complete set of accessories such as CI chair brackets, 32mm dia flush valve or flushing cistern - flush tank (In case of technical constraints in installation of flush valve), water jet arrangement, M.S.chair - standard PVC seat cover, open / concealed type complete including vaccum isolation valve and also including plumbing bends, other accessories, fittings, fixtures etc complete including necessary drainage connections (internal upto the external face of the building) including cPVC concealed water supply & drainage pipeline etc complete. Make: PARRYWARE /JAGUAR /JOHNSON or Equivalent.				
ii	<b>Flat back Urinals (With Sensor flush system)</b>	7	Nos.	9,500.00	66,500.00
	Supplying & Fixing in position White colored Large flat back urinals including necessary fittings and fixtures etc complete in all respects as per manufacturers specifications. The rate shall be inclusive of sensor type flush valve system with concealed type wall hanger &/or special brackets in wall and hinged type C including necessary drainage connections (internal upto the nahani trap) including concealed cPVC water inlet supply lines etc complete. Make: PARRYWARE /JAGUAR /JOHNSON or Equivalent.				

iii	<b>Wash basin</b>	12	Nos.	18,000.00	216,000.00
	Supplying & Fixing in position White colored vitreous porcelain below the counter type oval/rectangular wash basin fixed with white enamel painted CI/MS Brackets including PVC flexible connection, rubber plug, 32 mm dia CP brass waste coupling, CP Bottle trap, quarter turn Stop Cock and CP Swan neck sensor type Pillar Cock with CP wall flange, waste coupling etc complete including cutting and making good the walls wherever required including all its associated CP fittings including napkin rings of approved makes as per sample approved by the architect/ Engineer. The rates should be inclusive of connecting water supply & drain pipelines. <b>Wash basin shall be provided with 18 mm thick granite counter and the rate of counter shall be included in the quoted rate.</b> The rate shall be also inclusive of necessary drainage connections (internal upto the nahani trap) including drainage pipeline etc complete. Make: PARRYWARE /JAGUAR /JOHNSON or Equivalent.				
iv	<b>Jet spray / health faucet</b>	9	Nos.	1,550.00	13,950.00
	Supplying and fixing in position jet spray / health faucet for ablution for WC in toilets of heavy quality complete with necessary fittings as directed by the architect/ Engineer in-charge.				
v	<b>Supplying &amp; Fixing in position Coat Hooks</b>	5	No.	750.00	3,750.00
vi	<b>Supplying &amp; Fixing in position CP brass Liquid Soap containers</b>	12	No.	1,000.00	12,000.00
vii	Providing and fixing in position Askon make Single Blower Stainless Steel Silent <b>Hand Dryer</b> , (H) 265 x (W) 200 x (D) 115 mm (Min) in Stainless Steel brush finish etc complete	4	No.	16,000.00	64,000.00
viii	Providing and fixing mirror paneling in areas indicated using 12mm thk Marine ply backing over 6mm thk.'pre-approved' mirror,as specified by Architects/Engineer in-charge. Bevealed edge from all four sides. The mirror to be fixed with two way tape of 3M make, as per the instructions of the architects.	28	Sq. Mtr.	3,230.00	90,440.00
ix	Providing & fixing Exhaust Fans in aluminium frame including Frames for Exhaust Fans of appropriate size etc complete	14	No.	1,550.00	21,700.00
x	Providing & fixing Toilet Paper Holder	9	No.	800.00	7,200.00
xi	Providing & fixing Stainless Paper Towel Dispenser small of size (H) 203 x (W) 280 x (D) 102 mm (Min) in Stainless Steel 304 of approved make such as Askon or equivalent etc complete	6	No.	2,950.00	17,700.00
xii	<b>Nahani trap with Jali cover</b>	24	Nos.	500.00	12,000.00
xiii	Providing and fixing in position Nahani traps of 4" dia Size approx. with jali cover.				
14	<b>Plumbing work for Pantry &amp; Toilets</b>				
a	Supplying, fixing, jointing, testing and commissioning of approved make <b>Chlorinated Polyvinyl Chloride pipes (CPVC) up to 50 mm dia SDR 11</b> as per IS 15778: 2007 & SDR 11 fittings as per ASTM D2846 / D2846M - 14, both of approved make., and above 50 mm dia CPVC Sch 80 Pipes as per ASTM F - 441 & Sch 80 fittings as per ASTM F439 - 13, both of approved make.. The fittings and specials such as tees, elbows, couplers, bends, enlargers etc., with CPVC brass threaded combination / transition specials such as male adapters brass threaded female adapters, brass FPT Tee, Brass FPT elbow etc., including necessary drilling holes, chasing walls and making the same good in as directed by the Engineer in-charge. Joints.Wherever the pipes are crossing through the walls pipes should have sleeves in the wall and between pipe and sleeve should be sealed with silicone sealent.Annular space between pipe and sleeve provided wherever the pipes are crossing the wall will be sealed with glass wool in between & fire sealent compound at either end .				
	Cost shall be inclusive of all hangers, clamps, brackets etc. shall be of galvanized iron unless specified otherwise and then supply of the same shall also be included for rates under this head. Also rates including flusing and chemical cleaning of pipes.Charges for Labelling of pipe as per color schedule over painted surface of the pipes.				
	a) 20 mm nominal dia	700	Rmt	198.00	138,600.00
	b) 25 mm nominal dia	29	Rmt	300.00	8,700.00
	c) 32 mm nominal dia	54	Rmt	425.00	22,950.00
	d) 40 mm nominal dia	30	Rmt	562.00	16,860.00
	e) 50 mm nominal dia	92	Rmt	720.00	65,880.00

15	<b>Miscellaneous Works</b>				
a	Making trenches for raceways by cutting existing flooring/ walls, breaking the flooring & mortar and removal of debris.Providing necessary base for raceways with 1:3:6 P.C.C & filling the trench with 1:2:4 IPS with proper cement gutai & curing ,etc.	70	R.Mtrs	300.00	21,000.00
b	P/f frosted 12mm thk toughened glass partitions for urinals with full length L bracket complete with all accessories. max size 1200 x 700mm (as per dwgs)	5	Nos	3,000.00	15,000.00
c	Providing and erecting in position trap door in 12mm thk Marine Plywood to house, A.C. ductable units to be made out of 2" x 11/2" t.w. frame with openable shutter in ply with necessary hinges, tower bolts, locks, painting etc. finished as per the instructions and design.	10	Sq. Mtr.	2,000.00	20,000.00
16	Providing & Fixing in position Steel work in built up tubular (round, square or rectangular hollow tubes of any shapes & sizes etc) sections, riveted, bolted or welded in built-up sections, trusses and framed work including plates of any size & shape etc including cutting, binding, hoisting, fixing in position and applying a priming coat of approved steel primer including welding and bolted with special shaped washers, all accessories required for erection etc complete including three coats of enamel paint of approved colour & shade etc as per standard technical specifications, instructions of Architect / Engineer-in-charge on site & codes. Item to be operated for any Civil works wherever directed including Services such as HVAC mounting works	190	Kgs	140.00	26,600.00

	<b>SECTION B :- INTERIOR WORKS</b>				
	<b>GENERAL NOTES: -</b>				
	N.B:- The plywood considered in this estimate shall be IS 303 BWR grade Plywood for all the items of Interior & Furniture works. The rate shall be inclusive of anti termite coating on all sides to plywood, teak wood & all the other wooden components of Asian paints or equivalent approved make.				
	All internal woodwork / Plywood shall be treated with antitermite preservative. All internal framework shall be of Aluminium unless otherwise specified as Teakwood. All exposed edges of Plywood shall be fixed with C.P. Teak Lipping of size as directed by Architect. The skinning shall be in 303 BWR grade Plywood unless otherwise specified. All exposed veneer surfaces shall be finished with melamine polish. The thickness of the veneer shall be 4.0mm & that of laminate shall be 1.5mm thk. The approved veneer shall be finished with natural melamine polish of minimum 2 coats to have desired matt melamine finish where ever specified. The rates quoted for the item of Partitions & Panelling shall be inclusive of providing & fixing in between the aluminium frames, 50mm thk Rockinsul Slabs of Rockwool India Ltd of density 96 kgs / cu.m of standard width as per the available clear distances between the existing frames as directed wherever required & instructed including above false ceiling framework.				
	Rate for full height partition to include the cost of framework above false ceiling as required to fix the same to the ceiling slab for which no extra payment shall be made and the rate quoted shall be inclusive of the same. Measurement of Partition & Panelling shall be limited upto the False Ceiling level. However the cost towards frameworks to be continued upto the main ceiling shall be deemed to have been considered in the quoted rates and no separate payment shall be made for the framework or supporting elements of partitions / panelling items, above the false ceiling level.				
	The rate shall be all inclusive of the necessary hardware, fittings, fixtures & including glass & finishing for the same. The rate shall be also inclusive of pattas & bands, grooves at any level, any design in veneer, textures etc including the necessary framing/ openings for Electrical, Telephone & AC outlets. Further it is important to note that the Glasses wherever specified for the items of Partitions & Panelling if any shall have bevelled edges as per the direction & thickness as indicated by the Architect or Engineer in charge				
	The rates quoted for the Items of Partitions & Panelling of any / all types shall include the cost towards Providing and fixing additional 75mm wide Patta over and above the particle board / gypsum board or any / all types of skinning provided for the items of Partitions & Panelling to be provided in 12mm thk MDF board including 3.0mm thk approved Veneer with high end & high gloss melamine polish including designer grooves etc complete as per the instructions and to the complete satisfaction. Nothing additional would be paid on account of any pattas / bands provided for the said items.				
	50mm Glass wool slab of density 20kg/m <sup>3</sup> shall be placed in metal framework. Glass wool holding clip should be used to hold Glass wool slab in its position.				
	<b>PARTITIONS / PANELLING</b>				
	<b>General Specification for partition :-</b>				
	Main frame - <b>For Partitions:</b> Aluminium sections of 16 Gauge mentioned are out of size 50mm x 50 mm Aluminium section verticals at minimum 600mm Centre-Centre spacing approx. and <b>For Panelling:</b> 50mm x 25mm size Aluminium sections horizontal at 600mm Centre-Centre spacing approx. Extra frame below slab soffit for conduit to run above. All verticals shall be secured to the ceiling. Make: Jindal/MAAN/Hindalco				
	SKIN: - 303 BWR grade Plywood shall be screwed to frame work on both sides with joints as shown or directed. Make: Century/Green/Samrat/Mica				
	SKIRTING : In the same alignment, 80mm high in 303 BWR grade Plywood with a groove finished with laminate / veneer as the case maybe, or as directed by the Architect.				

	Finishing :-				
	<p>veneER:- 4mm thk natural venner with matching superior approved grade to be fixed to the plywood having joints as shown or directed complete with melamine polish finish.</p>				
	<p>LAMINATE:- Approved laminate shall be of 1 mm thickness</p>				
	<p>Internal Laminate shall be fixed on plywood skins with glue having grooves as shown or directed. Internal surfaces at specified places shall be 0.8 mm thick as directed by Architect. The rates quoted for the items of partions &amp; paneling shall be inclusive of providing &amp; fixing M.S. plate &amp; brackets over &amp; above the aluminium frame work as directed &amp; wherever instructed for mounting the TV units &amp; screens etc complete.</p>				
	<p>IMPORTANT NOTE ON THE DESIGN REQUIREMENTS APPLICABLE IN CASE OF ALL THE ITEMS OF PARTITIONS &amp; PANELLING:- The design &amp; the elevation of the various items under the heads: Partition &amp; Panelling shall be at the complete discretion &amp; directions / instructions of the Engineer in charge &amp; Architects on site. Wherever instructed &amp; directed, the rate shall include providing &amp; fixing additional 6mm thk plywood backing over and above the 303 BWR grade Plywood so provided in the items of partition / panelling to form raised panel design at regular intervals as directed and to be finished with high end approved 4.0 mm thk veneer with high end melamine polish (proportion of gloss and matt as directed) with uniform shade &amp; texture. Incase of 9mm thk plywood used instead of 6mm thk plywood for the raised panels for the items of Partition or Panelling works, the difference between the cost of 9mm thk plywood and 6mm thk plywood for the actual quantity of plywood used for the said partition or panelling items shall be measured and paid.</p>				
	<p>The level difference between the said raised panels and recessed panels shall be finished with approved designer moulding to be finished with high end (proportion of gloss and matt as directed) melamine polish and shall also include designer inlays to be finished with high end veneer with high end melamine polish, pattas &amp; bands at various levels etc in veneer and melamine polish and combinations of raised and recessed panels with inlays etc complete to the complete satisfaction of the Architect and Engineer in charge.</p>				
	<p>For all items of Interior Furnishing works &amp; Furniture works, the basic rate of Laminate considered for all the specifications / BOQ items herein shall be Rs. 65 / Sq. Fts plus taxes (GST) whereas the basic rate of Veneer, which shall be high end, uniform and without any variations, 4.0 mm thk considered for all the specifications / BOQ items herein shall be Rs. 110 / Sq. Fts plus taxes (GST). Basic rate for Frosted / Designer film of 3M, Llumar or equivalent approved wherever mentioned separately shall be Rs. 90 / Sq. Fts plus taxes (GST). The basic rate would be the rate offered to the bidder by the vendor / supplier after discounts and excluding the cost towards transportation, freight, loading, unloading etc and also exclusive of taxes (GST). Necessary documentary evidence in the form of challans &amp; Tax invoices, details of payments released to the vendor for the purchase of such materials &amp; including the loading-unloading transport slips needs to be submitted at the time of billing without which the payment processing shall not be entertained.</p>				
	<p>Further, Corian wherever mentioned in the BOQ (For items of Panelling, Reception Counter, Furniture elements etc) shall be high end, of desired and approved color and adhering to the BOQ specifications. Corian thickness shall be 6mm thk for vertical surfaces &amp; fascias and 12mm thk for horizontal surfaces shall be provided and with a basic rate of Rs. 1500 / Sq. Fts plus taxes (GST) for 6mm thk Corian and Rs. 1800 / Sq. Fts plus taxes (GST) for 12 mm thk Corian.</p>				
1	<b>PARTITIONS</b>				
	<p>Providing and fixing <b>Full ht. double skin Partitions</b> as per specifications including skirting, complete as per the design, drawings and instructions in all respects. The specifications for the said item shall comprise of the following and with varying finishes as mentioned hereunder: -</p>				
	<p>FRAMEWORK -50mm x 50mm Aluminium section of 16 Gauge verticals at minimum 600mm Centre to centre spacing approx extra frame below slab soffit for conduit to run above. All verticals secured to ceiling. Measurement of the said item shall be upto the False Ceiling level.</p>				

	SKIN:- Both side with 12mm thk 303 BWR grade Plywood screwed to frame work on both sides with joints as shown or directed.				
	SKIRTING : In the same alignment, 80mm high in 12mm thk 303 BWR grade Plywood with a groove finished with laminate / veneer as the case maybe, or as directed by the Architect/ Engineer in-charge.				
	The rate shall include providing & fixing TW beading finished with two or more coats of melamine polish/ paint all throughout the exposed edges & periphery, sealing all the joints, grooves in finishes, melamine polish to the mouldings & TW members, complete as per the directions of Architect. All Aluminium sections shall be smooth, rust free, straight, mitred and jointed mechanically.				
	The finishes for the skinning to be screwed to the framework on both the sides as duly mentioned above shall comprise of the following types: -				
	50mm Glass wool slab of density 48kg/m <sup>3</sup> shall be placed in metal framework. Glass wool holding clip should be used to hold Glass wool slab in its position.				
	Mode of measurements for all the herein-under Items of Partitions & Panelling shall be strictly upto the False Ceiling level. Incase of differential levels of False ceiling on both the sides of the partition, the average height of the false ceiling shall be the height for the purpose of measurements of the Item of Partition. However, it may be noted that for the items of Partitions & Panelling, the framework of any nature and as provided for the same under the specifications of the relevant line items shall be continued upto the RCC slab / beam as the case may be and no extra / additional payment for the framework to be continued upto the slab / beam shall be payable. Incase if the partition requires skinning and to continue above the ceiling, under such circumstances and as per the directions and instructions of the Architect, the Item shall be quantified under the relevant line item of the BOQ.				
a	Both side skins to be finished with 1.0 mm thk <b>Laminate</b> as shown in drawing or as directed by Architect/ Engineer in-charge.	65	Sq. Mtr.	4,000.00	260,000.00
b	Both side skins to be finished with 4.0 mm thk approved quality <b>veneer</b> finished with high-end melamine polish as shown in drawing or as directed by Architect/ Engineer in-charge.	240	Sq. Mtr.	5,000.00	1,200,000.00
c (i)	Both sides to be directly finished with skin in 12 mm thk approved <b>Gypsum Board</b> to be screwed directly to the Aluminium framing including POP Punning, levelling etc complete. Rate to also include Providing & Fixing <b>Acrylic Emulsion Paint</b> finish to the skin in coats of desired number with minimum of two coats. Rate shall also include providing grooves design in Gypsum as per the directions and instructions of the Architect/ Engineer in-charge.	121	Sq. Mtr.	3,800.00	459,800.00
(ii)	Both sides to be directly finished with skin in 12 mm thk approved <b>Gypsum Board</b> to be screwed directly to the Aluminium framing including POP Punning, levelling etc complete. Rate to also include Providing & Fixing approved <b>wallpaper</b> over the skin surface (Basic rate of Rs. 200/ Sq. Fts plus taxes {GST})	56	Sq. Mtr.	3,875.00	217,000.00
d	Finishing : Both side 6mm thk <b>Calcium Silicate Board/Hi-Lux Board</b> finished with 3 coats of approved acrylic emulsion paint including POP punning for surface preparation including necessary grooves, skirting etc complete as shown or directed by Architect/ Engineer in-charge.	3	Sq. Mtr.	3,875.00	11,625.00
e	One side skin to be finished with 1mm thk approved <b>laminat</b> e & other side skin with 4.0 mm thk approved quality <b>veneer</b> finished with high-end melamine polish as shown in drawing or as directed by Architect/ Engineer in-charge.	50	Sq. Mtr.	4,500.00	225,000.00
f	Finishing : One side finished in 1 mm thk approved <b>laminat</b> e & other with 12 mm thk approved <b>Gypsum Board</b> to be screwed directly to the Aluminium framing including painting with Plastic Emulsion Paint in minimum of three coats of approved make including necessary grooves, skirting etc complete as shown or directed by Architect.	21	Sq. Mtr.	4,500.00	94,500.00

g	Finishing : One side finished in 1.5mm thk approved <b>laminat</b> e & other with 6mm thk <b>Calcium Silicate Board/Hi-Lux Board</b> finished with 3 coats of approved acrylic emulsion paint including POP punning for surface preparation including necessary grooves, skirting etc complete as shown or directed by Architect/ Engineer in-charge.	5	Sq. Mtr.	3,700.00	18,500.00
h	Finishing : One side finished in 6mm thk <b>Calcium Silicate Board/Hi-Lux Board</b> & other with 12 mm thk approved <b>Gypsum Board</b> to be screwed directly to the Aluminium framing including painting with Plastic Emulsion Paint in minimum of three coats of approved make including necessary grooves, skirting etc complete as shown or directed by Architect/ Engineer in-charge.	1	Sq. Mtr.	3,600.00	3,600.00
j	Finishing : One side finished in 1mm thk approved <b>laminat</b> e & other with 25mm <b>Accosutic Board</b> with 0.90 NRC finished including necessary grooves, skirting etc complete as shown or directed by Architect/ Engineer in-charge.	13	Sq. Mtr.	6,700.00	87,100.00
k	Finishing : One side finished in 4.0mm thk approved <b>Veneer</b> & other with 25mm <b>Accosutic Board</b> finished including necessary grooves, skirting etc complete as shown or directed by Architect/ Engineer in-charge.	17	Sq. Mtr.	8,000.00	136,000.00
l	Providing and fixing FRAMEWORK in 50mm x 50mm Aluminium section of 16 Gauge verticals at minimum 600mm Centre to centre spacing approx extra frame below slab soffit for conduit to run above including 12mm thk <b>designer MDF board</b> on both sides including finishing both sides with PU machine polish including all the necessary surface preparations, final finish etc complete of approved shade, colour & texture as shown in drawing or as directed by Architect, including necessary grooves etc complete.	32	Sq. Mtr.	4,900.00	156,800.00
m	Providing & Fixing full height <b>Semi-Glazed partition</b> as per specifications including skirting, as per the design, drawings and instructions in all respects. The specifications for the said item shall comprise of the following and with varying finishes as mentioned hereunder: - FRAMEWORK - 2"x2" Aluminium section of 16 Gauge verticals, not exceed 1' 6"-2'-0" centres and 2" X 1" size Aluminium sections horizontal at floor level / skirting ht, 3'-0" level and door height at 7'-0" level. All verticals secured to ceiling. Measurement of the said item shall be upto the False Ceiling level. SKIN:- Both sides of the main frame shall be finished with 12mm thk 303 BWR grade Plywood screwed to the frame with joints as directed upto 3'0" level and from 7'0" level to the top upto false ceiling level and including 6 mm thk. clear glass Straight / segmented with bevelled edges including frosted film of approved make & design and drawing to be fixed with t.w moulding all around of approved size & design including grooves, mouldings etc complete as directed by Architect & as shown in the drawing. SKIRTING : In the same alignment, 3" high in 12mm thk 303 BWR grade Plywood with a groove finished with laminate / veneer as the case maybe, or as directed by the Architect/ Engineer in-charge. The rate shall include providing & fixing t.w. beading all throughout the exposed edges & periphery including fixing the glass with studs, sealing all the joints, providing grooves in the finish, melamine polish to the mouldings & t.w members, complete as per the directions of Architect. All Aluminium sections shall be smooth, rust free, straight, mitred and jointed mechanically. The finishes for the skinning to be screwed to the framework on both the sides as duly mentioned above shall comprise of the following types: -				
i	Both side skins to be finished with 4 mm thk approved quality veneer finished with high-end melamine polish as shown in drawing or as directed by Architect.	6	Sq. Mtr.	5,000.00	30,000.00
ii	Both side skins to be finished with 1.0mm thk approved Laminate finished as shown in drawing or as directed by Architect/ Engineer in-charge.	19	Sq. Mtr.	4,000.00	76,000.00
iii	One side skin to be finished with 1mm thk approved laminate & other side skin with 4 mm thk approved quality <b>veneer</b> finished with high-end melamine polish as shown in drawing or as directed by Architect.	3	Sq. Mtr.	4,500.00	13,500.00
iv	Both sides to be directly finished with skin in 12 mm thk approved Gypsum Board to be screwed directly to the Aluminium framing including POP Punning, levelling etc complete. Rate to also include Providing & Fixing Acrylic Emulsion Paint finish to the skin in coats of desired number	3	Sq. Mtr.	3,800.00	11,400.00

2	<b>Full Height Fully Glazed partition</b>				
A	Providing and erecting in position full height fully glazed partiton in 12mm thk. toughened glass fixed on Patch fittings including top patch fitting, bottom patch fitting, patch lock, Floor spring of approved make for the door and S.S handle 600mm long, 30mm dia for the door including designer decorative frosted film of approved make, shade & design on the glass. All damages to the floor work to be reinstated without any extra cost including the cost of other fittings & fixtures & hardware such as spider panels, glass to glass contactors etc complete, necessary holes, joints to be sealed with silicone sealant on all sides complete in all respects etc as per directions of Architect/ Engineer in-charge.	8	Sq. Mtr.	5,200.00	41,600.00
B	Providing and erecting in position full height fully glazed partiton in ORNO80MM Series or equivalent make Aluminium Modular Glass Partition using standard track section of size 80 mm X 25 mm seal and bead profile of ORNO 80MM series or equivalent approved at top, bottom and sides (Only at the end of the cabin spans) upto any stud thickness as per manufacturer's standards and specifications and as directed by the Architect to comply with the standard partition suite design including double glazed 10mm thk clear toughened glass to be fixed within the frame including door frame in the same matching Aluminium frame profile and for size to allow upto 45mm thk door of any type i.e. solid flush door or glazed door (Matching the Glazed Partition in terms of elevation, shape, size, thickness etc) as per directions and upto any desired height of the partition as well as door, with sound insulation capacity of minimum upto 42 dB including Glass to glass joint and connectors, standard assessories as per manufacturers recommendations & standards, gaskets etc complete. The Clear toughened glass shall be of Saint Gobain / Asahi or equivalent make as approved including designer decorative frosted film of approved make, shade & design on the glass				
	The rate shall include providing and fixing in position clear toughened single glass glazing (Partition shall be measured including the door with matching elevation, if any, provided as per the plan), 10mm thk toughned glass within the framework as provided in the partition-door system including necessary fitting, fixtures such as lock arrangement for the door as per manufacturers specifications and standards, hinges, glass door hinge, cove profile & skirting etc as per manufacturers recommendations & standards. Style Door of 45x75 mm with 80mm door frame including hinges, door lock, concealed door closer & drop seal of approved make for the door and S.S handle 450mm long, 22mm dia for the door. All hardware to be of ORNO/Gazee or equivalent approved makes. Rate to also include providing and fixing in position frosted film of approved make, shade & design on the glass. All damages to the floor work to be reinstated without any extra cost including the cost of other profiles, hardware, assessories, fittings & fixtures & hardware etc complete, necessary holes, joints between door, glazed partition panels (Glasses) to be sealed with silicone sealant on all sides complete in all respects etc as per directions of Architect.				



i	Single Glazed Partition - 10mm Thk toughned Glass panels with glass to glass butt joint to make it water and air tight. Further the Orno, Liko or equivalent make sections including the glass panels shall be accoustic proof and sound insulated and shall be as per the manufacturers specifications and standards.	200	Sq. Mtr.	7,400.00	1,480,000.00
3	<b>Partitions above False Ceiling for Conference/ AHU/Toilets, etc.</b>				
	Providing and extending frame works of full height partitions wherever directed and finishing with 12 mm thk 303 BWR Ply wood on both sides and finishing the same with approved paint including insulating the same with approved insulating material upto soffit of beam or ceiling including properly anchoring the same making necessary cut-outs for AC ducts etc complete wherever directed.	27	Sq. Mtr.	1,900.00	51,300.00
4	<b>PANELLING :-</b>				
A	Providing and fixing Wall & Column Panelling for the existing surfaces to be made out of 16 gauge Aluminium framework backing of size 50mm x 25mm at 600mm c/c bothways to be covered with 12mm thk 303 BWR grade Plywood and finished with approved 4.0 mm thk Veneer and melamine polish in any design, pattern, veneer alignment etc including skirting & band at top in the same alignment with a groove and including teakwood moulding of approved size as shown in detailed drawing or as directed by Architect	88	Sq. Mtr.	3,700.00	325,600.00
B	Providing and fixing Wall & Column Panelling for the existing surfaces to be made out of 16 gauge Aluminium framework backing of size 50mm x 25mm at 600mm c/c bothways to be covered with 12mm thk 303 BWR grade Plywood and finished with approved 1.0mm thk Laminate including skirting & band at top in the same alignment with a groove and including teakwood moulding of approved size as shown in detailed drawing or as directed by Architect. {Item shall be operated on all surfaces including fixing above the storage units mounted on exterior walls within cubicles and as an partial enclosure to the exposed Glazing portion}	255	Sq. Mtr.	3,500.00	892,500.00
C	Providing & Fixing designer approved <b>Acoustic Fabric Panelling</b> of Armstrong, Anutone or equivalent make including approved leatherite, satin or approved fabric of standard width over and 25mm thk glasswool or soft board backing, total thickness as per manufacturers specifications. The NRC to be minimum of 0.9. All around the panelling, decorative teak wood mouldings shall be provided and shall be finished with melamine polish complete as per the instructions of Architect.	78	Sq. Mtr.	3,750.00	292,500.00
D	Providing and fixing Wall & Column Panelling for the existing surfaces to be made out of 16 gauge Aluminium framework backing of size 50mm x 25mm at 600mm c/c bothways to be directly finished with skin in 12 mm thk approved <b>Gypsum Board</b> to be screewed directly to the Aluminium framing including POP Punning, levelling etc complete. The finishes for the said item shall comprise of the following: -				
i	Providing & Fixing Acrylic Emulsion Paint finish to the skin in coats of desired number	24	Sq. Mtr.	1,800.00	43,200.00
ii	Providing & Fixing Textured Paint finish finish to the skin	5	Sq. Mtr.	2,000.00	10,000.00
iii	Providing & fixing approved customized / ready (Vibrant / thoughtful) wallpaper over the Gypsum surface in paneling, false ceiling or any surface as directed. (Only the cost towards supply & fixing of wall paper shall be quantified in this item. All other items including surface preparation shall be quantified under relevant items). (Basic rate of Rs. 200/ Sq. Fts + GST).	177	Sq. Mtr.	3,300.00	584,100.00
E	Providing & Fixing <b>Mirror Panelling</b> using 6 mm thick mirror of approved make over 19mm 710 BWP grade Marine Plywood backing. The mirror to be fixed with T.W beading of size 12.5mm X 19mm, finished with melamine polish complete as per the instructions of EIC. The rate shall be inclusive of providing & fixing S.S studs of appropriate size & diameter as directed including bevelling for the mirror	10	Sq. Mtr.	3,500.00	35,000.00

F (i)	Providing and fixing Wall & Column Panelling for the existing surfaces to be made out of 16 gauge Aluminium framework backing of size 2" X 1" at 1' 6" to 2' 0" c/c to be covered with 12mm thk 303 BWR grade Plywood backing and finished with 4mm designer, decorative MDF board including coats of duco paint of approved shade, colour & texture including teakwood moulding of 4mm size all around the periphery as directed by Architect	65	Sq. Mtr.	3,875.00	251,875.00
(ii)	Providing and fixing Wall & Column Panelling for the existing surfaces to be made out of 16 gauge Aluminium framework backing of size 2" X 1" at 1' 6" to 2' 0" c/c to be finished with <b>CNC cut panels</b> of 4mm thk 3D <b>MDF decorative panel</b> of any size, design & pattern such as open jali, engraving etc and in any colour & texture including necessary cove lighting arrangements with frosted 8mm acrylic sheet backing to be fixed using teakwood moulding all around the periphery etc complete as directed by Architect.	10	Sq. Mtr.	4,100.00	41,000.00
G	Providing & Fixing 6mm thk <b>Corian</b> for Partitions, panelling, False Ceiling, Tables, Furniture etc as per directions for the existing raw surfaces such as plywood, partial board, MDF, Aluminium framework etc including finishing the corian with polish of approved shade, colour & texture, frame etc complete as directed by Architect	8.36	Sq. Mtr.	6,500.00	54,340.00
H	Providing and fixing back-painted 6 mm thk <b>lacquered glass</b> to be provided for any type of Partitions, Panelling, False Ceiling, Tables, Furniture etc as per directions for the existing raw surfaces such as plywood, partial board, MDF, Aluminium framework etc directly to be mounted over the surface or over and including SS studs including making provision for providing LED cove backlit lighting wherever directed, brackets, necessary hardware, fittings, fixtures etc complete as per the directions of Architect. Basic rate for back painted glass / muralic glass shall be Rs. 300 / Sq. Fts.	56	Sq. Mtr.	4,800.00	268,800.00
J	Providing and fixing of <b>WPC Rafters/Louvers</b> 20-25mm thk for any type of Partitions, Panelling, False Ceiling, Tables, Furniture etc as per directions for the existing raw surfaces such as plywood, partial board, MDF, Aluminium framework etc directly to be mounted over the surface or over including making provision for providing LED cove backlit lighting wherever directed, brackets, necessary hardware, fittings, fixtures etc complete as per the directions of Architect. Make - Reynobond/Reynoarch or equivalent. Rate shall be quoted for providing and fixing in position WPC Rafters / Louvers irrespective of the application area i.e. Panelling, False Ceiling or Cladding and the surface area i.e. footprint area of the same irrespective of the grooves / spacing between the rafters or louvers in terms of Square feets shall be considered for the purpose of measurements and payment.				
a	200mm x 2400mm	5	Sq. Mtr.	3,300.00	16,500.00
b	167mm x 2400mm	28	Sq. Mtr.	3,100.00	86,800.00
c	200mm x 2900mm	248	Sq. Mtr.	3,800.00	942,400.00
d	167mm x 2900mm	70	Sq. Mtr.	3,300.00	231,000.00
5	<b>DOORS</b>				
i	<b>Solid Flush Door - 3'-0" x 8'-0"</b>	12	No	19,500.00	234,000.00
	Providing and fixing Solid Core Marine Flush door shutters 35mm thick ISI mark including providing 1 1/2" X 1/4" and 6mm thick TW lipping patti to all exterior edges, 1.0 mm thk approved laminate finish of approved shade on both sides including 125X32mm Stainless steel hinges, heavy duty round S.S cylindrical lock, 2 Nos 6" - S.S handles, S.S door stopper, door closer, rubber bush and buffer etc complete as directed at site. The rate shall be inclusive of providing & fixing 2nd class BTC frame of size 100 X 50mm including necessary polishing to the frame etc complete.				

ii	<b>Solid Flush Door - 2'-6" x 8'-0"</b>	13	No	15,000.00	195,000.00
	Providing and fixing Solid Core Marine Flush door shutters 35mm thick ISI mark including providing 1 1/2" X 1/4" and 6mm thick TW lipping patti to all exterior edges, 1.0 mm thk approved laminate finish of approved shade on both sides including 125X32mm Stainless steel hinges, heavy duty round S.S cylindrical lock, 2 Nos 6" - S.S handles, S.S door stopper, door closer, rubber bush and buffer etc complete as directed at site. The rate shall be inclusive of providing & fixing 2nd class BTC frame of size 100 X 50mm including necessary polishing to the frame etc complete.				
iii	<b>Solid door with glass vision panel / Louvers- 3'-0" x 8'-0"/2'-6" x 8'-0"</b>	14	No	17,000.00	238,000.00
	Providing and fixing Solid Core Marine Flush door shutters 35mm thick ISI mark including providing 1 1/2" X 1/4" and 6mm thick TW lipping patti to all exterior edges, 1.0 mm thk approved laminate finish of approved shade on both sides including 125X32mm Stainless steel hinges, heavy duty round S.S cylindrical lock, 2 Nos 6" - S.S handles, S.S door stopper, rubber bush, door closer and buffer etc complete as directed at site. The rate shall be inclusive of providing & fixing 2nd class BTC frame of size 100 X 50mm including necessary polishing to the frame etc complete. The rate shall be inclusive of providing and fixing within the door, vision panel or louvers of size approximately 300mm X 300 mm and with 6mm thk clear glass including wooden beading finished in 3 coats of melamine polish.				
iv	<b>Fully Glazed Door - 3'-0" x 8'-0"</b>	10	No	32,500.00	325,000.00
	Providing & Erecting in position Fully glazed Single leaf door & its side fixed glass in 12 mm thk Toughened Glass on Patch fittings of the size 3'0" X 7'0" each including top patch fitting, bottom patch fitting, patch lock, Floor Spring of reputed manufacturer and S.S handle 600mm long, 30mm dia including frosted film of approved make, shade & design on the glass. All damages to the floor work to be reinstated without any extra cost including the cost of other fittings & fixtures & necessary hardware, necessary holes, joints to be sealed with silicone sealant complete in all respects etc directions of Architect.				
v	<b>Fire Door with frame - Electrical Room</b>				
	P/F fire door of MS Sheet of 1mm for Door, MS Sheet of 1.2mm for Frame Constructed to withstand 2 hr. fire retardent with View Panel size 200mm X 300 Mortise Lock with push down handle, Door Closure fixed on top of the door Frames will be fixed with expansion anchors Colour of client choice-powder coated Overall shutter thickness will be of 46mm standard size of the fire door 7' X 3' with Installation	1	No	45,000.00	45,000.00
6	<b>Box for Rolling shutter</b>				
	Providing and erecting boxing to cover the rolling shutter to be made out of 19mm thk. 303 BWR grade Plywood for casing and openable shutters below for servicing to be finished with approved 4.0 mm thk exterior grade ACP including hardware such as hinges, locks etc.complete as per instructions of Architect.	24	Sq. Mtr.	3,100.00	74,400.00
7	<b>Rolling Shutter</b>				
a	Providing and fixing new opaque rolling shutter with top box, channels, locks, sliders etc complete as per site conditions.	38	Sq. Mtr.	3,300.00	125,400.00
8	<b>FALSE CEILING</b>				
	General :				
	The filler, paper tapes, finishes and primers suitable for Gypsum boards, shall be as per recommended practises of India Gypsum.				
	Framework grid and suspenders shall be fixed to avoid fouling with services such as ducting, sprinklers, electricals fixtures, etc				
	T.W. framing may be allowed in certain areas for the Gypsum Board ceiling with the approval of the Architect. The same should have three coats of fire resistant paint.				
	Note: All the hardware such as fastners, hangers, suspenders, etc. required for erection of the false ceiling shall be of standard approved make & manufacturers specifications and approved by the Architect.				

A	Metal frame <b>False Ceiling</b> of 12 mm thk. <b>Gypsum Board</b> including vertical drop panels.	800	Sq. Mtr.	950.00	760,000.00
	Providing and Fixing 12 mm Thk. Gypsum board on metallic grid, conforming to IS: 2095: :1982. The metallic grid shall consists of the following :				
	GI Perimeter channels of size 27mm and 0.5mm thk. having one flange of 20mm and another flange of 30mm.				
	GI intermediate channel of size 45mm 0.5mm thk. With two flange of 15mm each at 4'-0" centre to centre.				
	GI Hanger of size 1"x1", 0.5mm thk. A 4'-0" centre to centre distance.				
	GI Cleat and Steel Expansion Fasteners.				
	Ceiling section of 0.5mm thickness having curled wedge of 51.5 mm and two flanges of 26mm each with lips of 10.5mm at 450mm center to center. Connecting clips & 12.5 mm dry wall screws at 230 mm center to center.				
	The metallic grid shall be installed as follows :				
	The perimeter channel along the perimeter of the ceiling with screw fixed to brickwall / partition with the help of rawplugs and screws.				
	The intermediate channels shall be suspended from the ceiling with steel GI hanger fixed to the slab soffit with GI cleat and steel expansion fasteners. The intermediate channels shall be at 4'-0" centre to centre distance.				
	The ceiling section placed in a direction perpendicular to the intermediate channel at 1'-6" C/C distance shall be fixed to the intermediate channel with the help of connecting clips and 12.5 mm dry wall screws at 230 mm centre to centre distance.				
	Finally, the 12mm thk. Gypsum boards shall be fixed to the metal frames and the tapered/square edges of the boards shall be finished to a flush joint with requisite filler, paper tapes, finisher and primer suitable for Gypsum plaster boards, (as per recommendations of manufacturers, Indian Gypsum or equivalent) including 3 or more coats Emulsion Paint of approved make and shade and colour.				
	The rate shall include the cut-outs to be made for light fittings, grills, diffusers, speakers, smoke detectors, sprinklers etc. with provision of the frame along perimeter of the cut outs/ opening with channels/ ply to support the ceiling adequately as per the directions of Architect. The rate shall include necessary shapes, designs, patterns in curvature, sloping, dome, oval & elliptical shaped etc including the necessary provisions of coved lighting scheme etc complete as per the designs, drawings and instructions of the Architect.				
B	<b>Mineral Fibre Board False Ceiling</b>				
	Providing and erecting false ceiling of Mineral Fiber ceiling Board of approved make with framework, runners, cross runners & suspenders from the existing ceiling as per the manufacturers details and specification and 600X 600mmX 15mm thk tiles of approved design, texture & in microlook pattern including the grids in black / white silhouette pattern, 15mm as per manufacturers specifications complete including making necessary cut-outs for electrical fixtures, AC diffusers, access etc as per the instructions of the Architect.				
(i)	Approved premium Tile in Dune RH Microlook or equivalent approved category with black silhouette locking supporting system, 15 mm grid. The rate shall also include Providing & Fixing in position 50 mm high Axiom with all its associated Accessories as per manufacturers specifications & standards etc complete. Rate to also include providing & fixing additional 6mm thk. BWR ply backing on mineral fibre modular false ceiling tiles of support light fitting, speakers, CCTV cameras in grid work wherever directed	220	Sq. Mtr.	1,200.00	264,000.00
(ii)	Approved premium Tile in 19 mm thk. fine fissured high Acoustic tile board with a minimum NRC of 0.95, Class I (Class A) fire rating with black silhouette locking supporting system locking supporting system, 15 mm grid etc complete. The rate shall also include Providing & Fixing in position 50 mm high Axiom with all its associated Accessories as per manufacturers specifications & standards etc complete. Rate to also include providing & fixing additional 6mm thk. BWR ply backing on mineral fibre modular false ceiling tiles of support light fitting, speakers, CCTV cameras in grid work wherever directed	12	Sq. Mtr.	2,700.00	32,400.00

C	Providing and erecting False ceiling in <b>WPC Baffles</b> of wooden texture with Size shall be 40-50mm x 100 mm (W x H) & shall have a minimum of 25mm to maximum of 100mm Gap as per directions & instructions from the Architect on site, including all accessories such as hanging arrangement, screws and other accessories, hardware, fittings, fixtures etc including fixing the same to the main RCC ceiling with fasteners, clamps, necessary fittings etc complete. All suspended hanger, clips, unigrid channel shall be Galvanised mild steel and of approved color of the baffles including the installation which shall be done as per manufacturer's specification.	260	Sq. Mtr.	4,600.00	1,196,000.00
	The panels shall have dimensional stability, longevity with resistance to rot and crack and all technical features as per manufacturers specifications and standards with stability over a wide temperature range, weather resistant, Moisture resistant, fire rated, High impact resistant, Outstanding screw and nail retention, Environmentally friendly, recyclable and containing no toxic chemicals or preservatives etc complete as per latest standards and guidelines. (Quantification of the Panels shall be done in terms of the Sq. Fts area calculated in and over the Plan view i.e. overall footprint area of the panels)				
D	Providing & Fixing in position 100mm x 50mm Plain <b>Acoustics Baffles / Battens</b> for false ceiling made of 100% PET fibres wrapped with 2mm PET felt of min thickness 27mm having impregnated bolts for hanging vertically from ceiling achieving 0.95 NRC (PET Polyester Acoustic Panels shall be acoustically absorbent panels made from 100% PET plastic with a felt-like finish). Nominal size of panel 1500 long x 200 mm high x 30mm. Bolts supported from ceiling using SS wire of min. 1mm dia. Each baffle must be hung vertically using 2 suspension bolts only and levelled in perfect plane. Work shall be complete inclusive of all fittings & hardware. Color shall be as per Architect approval. Rate shall include all accessories such as hanging arrangement, screws and other accessories, hardware, fittings, fixtures etc including fixing the same to the main RCC ceiling with fasteners, clamps, necessary fittings etc complete. The panels shall have dimensional stability, longevity and all technical features as per manufacturers specifications and standards. (Quantification of the Panels shall be done in terms of the Sq. Fts area calculated in and over the Plan view i.e. overall footprint area of the panels)	195	Sq. Mtr.	6,000.00	1,170,000.00
E	<b>Wooden Ceiling finished with 4mm thk Veneer</b>	70	Sq. Mtr.	8,000.00	560,000.00
	Providing and erecting false ceiling in veneer in any shape, design, pattern such as battens, curvature, sloping, dome, oval, suspended dome, cylinder, inverted dome, elliptical shaped, battens & any other shape as directed or instructed etc including the necessary provisions of coved lighting arrangement etc complete as per the designs, drawings and instructions of the Architect to be provided with 12 mm thk BWR ply backing on teak wood frame to be anchored to the main ceiling with cross runners tongued and grooved including anchor fasteners, cross bracings, brackets etc. Ply to be fixed to the teakwood frame to be finished with approved 4mm thk high end premium class veneer & high end melamine polish etc complete as per directions of the Architect.				
F	Providing & Fixing Designer Stretch fabric ceiling translucent backlit system for Reception circular ceiling suspended logo of Dia- 3000mm X 100mm ht. finish with all necessary ply support , boxing , hardware and accessories ,LED lights. As shown in 3d view and dwg. and instructed by architect.	17	Sq. Mtr.	15,000.00	255,000.00
10	Providing & Applying Plaster of Paris Punning up to average thickness of 12 mm thk. on existing walls to proper level & plumb, including Groove Complete as per site conditions & directions of the Architect.	250	Sq. Mtr.	180.00	45,000.00
11	Providing and erecting in position Plaster of Paris Cornices 3" x 3" in size to the false ceiling. Including filling the gaps with POP & painting the same with Acrylic Emulsion paint of approved colour and texture as per instruction of Architect.	335	R.Mtrs	200.00	67,000.00

12	<b>PAINTING :</b>				
	<b>Note :</b> The Rates for the Painting works shall be inclusive of three coats. The paint should be free from lead and Arsenic.				
A	Painting of wall with minimum of 3 coats with <b>Lustre Paint</b> of approved shade & make on the wall, plywood or gypboard including all necessary surfaces preparation, scrapping, base coats etc to receive 3 coats. The wall shall be cleaned, filled with putty & applied with one coat of primer so as to achieve a even surface to apply paint as per the directions / to the satisfaction of the Architect.	70	Sq. Mtr.	270.00	18,900.00
B	Providing and applying acrylic aggregate <b>textured wall</b> coating of Asian Textured & Special Effects Paint, Dulux Ambiance or equivalent approved in any shade spray and approved texture coat, pebble, ripple, linea, marble, slate, special effects such as zig-zag, bloom, bubble, compact, rustik shade etc or as approved including base coat, maintaining material consumption rate as per manufacturers standards & specifications and upto any desired thickness on walls to the complete satisfaction of the Architect & Engineer in charge. The rate shall include POP punning to the wall up to average thickness of 12 mm to proper level & plumb including scrapping, base coats as per manufacturers specifications, cleaning of the walls etc complete.	30	Sq. Mtr.	1,180.00	35,400.00
C	Providing and applying <b>Royale Emulsion Paint</b> in minimum of three coats of approved make and shade on Walls, Ceiling, plywood, gypsum board, surfaces etc including all the necessary surfaces preparation, POP punning to the wall up to average thickness of 12 mm (Including cost to include PVC corner profiles as per details) to proper level & plumb, including grooves, primer coat, sanding etc scrapping, base coats etc to receive 3 coats of paint. The wall shall be cleaned, filled with putty & applied with one coat of primer so as to achieve a even surface to apply paint. As per the directions / to the satisfaction of the Architect.	885	Sq. Mtr.	410.00	362,850.00
D	<b>Flat Oil Paint</b>	15	Sq. Mtr.	350.00	5,250.00
	Painting of wall with minimum of 3 coats of Flat Oil Paint of approved shade & make on the wall, plywood or gypboard including all necessary surfaces preparation. The wall shall be cleaned, filled with putty & applied with one coat of primer so as to achieve a even surface to apply paint. As per the directions / to the satisfaction of the Architect / Engineer in charge.				
E	Providing and Applying <b>Textured paint, Oikos</b> or duly approved shade as per Manufacturers specifications. The rate shall be inclusive of the surface preparation of the wall / panelling / partitions to be smooth and in line, level & plumb with POP Punning and to receive three coats of approved color paint finish with protective coat of CERA PER RAFFAELLO as per manufacturers specifications and as directed by EIC. (Basic rate @ Rs. 90 / Sq. Ft.).	7	Sq. Mtr.	1,200.00	8,400.00
13	<b>Blinds</b>				
i	Providing & Fixing high end & premim class <b>Zebra Roller Blinds</b> of approved make with supporting framework etc of approved shade & colour, opaque eclipse type complete in all respects & working order with triple spring arrangement as per manufacturers specifications & standards & directions of the Competent Authority. The cost towards automation & automatic motorized openings shall be considered in automation estimates, however the roller blinds installed shall have provision for synchronization to automation system. (Basic rate of Roller Blinds shall be Rs. 120 / Sq. Fts plus taxes {GST})	186	Sq. Mtr.	1,400.00	260,400.00

16 (i)	Providing & Fixing full height display storage unit with 12mm thk glass shelves and glass shutters wherever directed on heavy duty magnetic catch including provision for warm lighting arrangement to be made inside at the storage top panel. All exposed surfaces to be finished with 3.0 mm thk high end veneer with melamine polish etc complete and internal exposed surfaces shall be finished with 3.0mm thk approved high end veneer with melamine polish including heavy duty hardware, fittings, fixtures etc complete to the complete satisfaction of the Engineer in charge & Architect.	10	Sq. Mtr.	10,300.00	103,000.00
16 (ii)	Finishing: - Do - Same specifications as above but for the Locker units of the staff including pigeon holes and the front of the pigeon holes to be provided with 25mm laminated ply including locks, hinges, handles, necessary fittings and internally surfaces to be polished etc complete.	3	Sq. Mtr.	5,600.00	16,800.00
17	<b>Double Glazed Window (Exterior Side)</b>	190	Sq. Mtr.	11,000.00	2,090,000.00
	Providing and fixing factory made uPVC white colour fixed glazed windows comprising of uPVC multi chambered frame, sash and mullion sections extruded profiles duly reinforced with 1.60 ± 0.2 mm thick galvanized mild steel section made from roll forming process of required length (shape & size according to uPVC profile), uPVC extruded glazing beads of appropriate dimension, EPDM gasket, stainless steel (SS 304 grade) friction hinges for openable panels as may be required, G.I fasteners 100 x 8 mm size for fixing frame to finished wall, plastic packers, plastic caps and necessary stainless steel screws etc. Profile of frame & sash shall be mitred cut and fusion welded at all corners, mullion shall be also fusion welded including drilling of holes for fixing hardware's and drainage of water etc. After fixing frame the gap between frame and adjacent finished wall shall be filled with weather proof silicon sealant over backer rod of required size and of approved quality, all complete as per approved drawing & direction of Engineer-in-Charge.				
	Note: For uPVC frame, sash and mullion extruded profiles minus 5% tolerance in dimension i.e. in depth & width of profile shall be acceptable. Variation in profile dimension in higher side shall be accepted but no extra payment on this account shall be made.				
	Providing and fixing 5.5 mm thk glazing (Glass) of Saint Gobain or equivalent make on outer side and 5.5 mm thk plain glass inside including filling the gap in between with Silicon sealant including the necessary fittings, hardware and panels and as per the manufacturers specifications and directions and instructions of the Architect or the Engineer-In-Charge.				
18	<b>Aluminium Louvered Window</b>				
	Providing and fixing powder coated aluminium louvered window with 5.5mm thk tinted glass and louvered glass panes in aluminium window sections with proper locking arrangement, heavy duty channels for smooth movements including provision for fixing of exhaust fan by providing fixed glass in aluminium section above including approved sun control film etc. complete as per instructions of Architect.	27	Sq. Mtr.	3,500.00	94,500.00
19	<b>Miscellaneous General Works</b>				
a	Providing and fixing running counters at locations indicated on the drawings to be fabricated out of 19mm thk BWR ply and finished in 1mm thk. Laminate of approved shade and color. The table width to be average 2'-0". The counters to have vertical supports for fixing shutters fabricated out of 19mm thk BWR ply finished with 1.0mm thk. laminate externally & internally. The shutter to be fixed with SS hinges complete with all necessary hardware like handles, locks etc of approved make as per design and detail.	7	R.Mtrs	9,200.00	64,400.00
b	Providing & fixing pelmet for blinds in 19mm ply finished with laminate internally as per architects design/details/ instructions. 150 mm X 300mm.	44	R.Mtrs	820.00	36,080.00
c	Supply & Installation of 3M Clear view Decor with approved artwork digitally reproduced with water-based inks certified to have no hazardous air pollutants. Self-adhesive, optically clear, bubble-free installation to be done on clean glass, by Authorized Installers only. 3M interior warranty for a period of 3 years to be submitted along with invoice by 3M directly to customer.	40	Sq. Mtr.	3,700.00	148,000.00
d	Providing & Fixing glass shelves on brackets in VC and meeting rooms in 12mm thk. Glass on D-brackets / Studs	3	Sq. Mtr.	3,300.00	9,900.00
20	Providing and fixing high end, premium quality, reflective designer frosted film of Lumar/ 3M or equivalent approved make and shade to be fixed to glasses of all types, windows, partition glasses, panelled glass surfaces etc complete as instructed by Architect.	12	Sq. Mtr.	2,150.00	25,800.00

21	<b>RECEPTION COUNTER</b>	1	Nos	85,000.00	85,000.00
	Providing and supplying Reception counter of size 15'-0" in length comprising of various shapes - circular & straight length and 2'-0" width and 2'-6" height including beveled edged glass, 12mm thk on top supported on stainless steel hollow pipes, 75mm dia & height below top be minimum of 1'-0". The table below the pipe to be made out of 19mm thk BWR ply with front apron to be in 19mm thk BWR ply (flexible for curvature portion) to be finished with approved 18mm thk onyx italian marble including provision of warm / coloured lighting behind the onyx for glowing effect. The top of the counter shall be provided with Corian Quartz of Dupont or equivalent approved including approved Corian for sides & all other exposed surfaces.				
	The rate shall include 1 no of pedestal drawer units on castors comprising of 3 nos of equal sized drawers on side to be finished with 4.0mm thk approved veneer with melamine polish. The rate shall also include the elevational treatment to be provided with recessed designer corian of approved shade with backlit within veneer borders & tray at skirting level including planters, pebbles & creeper arrangement design and including heavy duty CPU trolleys & keyboard trays of standard make on sliding channels as per manufacturers specifications etc complete.				
	All exposed vertical fascias / surfaces of the counter shall be finished with approved 6mm thk Corian material except the top, which shall be finished with 12mm thk Corian and the front apron of the table which shall have onyx stone and inlay design as mentioned. The drawer unit shall be finished with 4.0mm thk veneer with melamine polish & internal surfaces shall be finished with 0.8mm thk laminate including making the necessary openings for wires of telephone boards, PC, grooves, mouldings, etc complete.				
22	Providing and erecting in position <b>Meeting tables</b> to be made out of 19mm thk Plywood top with 60 X 60mm thk t.w.moulding all round the top to be finished with approved 3.0 mm thk high end veneer/6mm thk Corian including approved 3mm lamination melamine polish and to be erected on a central core support comprising of framing of t.w 75 X 75 mm thk moulded frame vertical, horizontal at top & bottom & including bracings at a regular interval of minimum 900 mm centres, which shall have 19mm thk ply on one side in case of solid rectangular table base or both sides incase of tables with central cut outs or openings and to be finished with approved 3.0 mm thk veneer with melamine polish. All the exposed middle verticals & framing (aprons) shall be finished with 19mm thk plywood and approved 3.0 mm thk natural veneer with lamination melamine polish as per the drawings & instructions of the Architect.				
	The rate shall be inclusive of necessary cut outs & provisions for video/tele conferencing including providing and fixing in position, cable & wire managers as pop-up managers / cable chubby, in desired number as per instructions and directions, necessary hardware, cabling arrangements for video / tele conferencing (Actual cable would be quantified separately), openings /cut outs for speakers etc complete. The rate shall also include providing foot rest fixed to the central core support section of the table of projection width as directed to be finished with approved veneer with melamine polish etc complete.				



	The rate shall be inclusive of making provisions for all services such as AV controls, Electrical installations, gadgets etc. The rate shall also include the provisions for making the table moveable including providing & fixing heavy duty castors, locking arrangements for the castors etc complete. The rate shall also include provisions for all the necessary hardware, fittings, fixtures etc as directed and to the complete satisfaction of the Architects & Clients.				
a	Rectangular Size of Table - 10'-9" X 3'-6" with specifications as above.	1	No	85,000.00	85,000.00
b	Rectangular Size of Table - 13'-3" X 3'-6" with specifications as above.	1	No	110,000.00	110,000.00
c	Rectangular Size of Table - 12'-0" X 3'-0" with specifications as above.	1	No	105,000.00	105,000.00
d	Rectangular Size of Table - 24'-6" X 6'-6" with specifications as above.	1	No	150,000.00	150,000.00
e	Square Size of Table - 3'-6" X 3'-6" with specifications as above.	1	No	22,000.00	22,000.00
10.00	<b>SERVER ROOM</b>				
i	<b>Server table (3'0"x2'0") / Guard Table on Rear Side/Mail Room</b>	1.00	Nos.	9,000.00	9,000.00
	Providing and erecting Server / communication table or counter to made out of 19mm thk. BWR ply. The table to have heavy duty keyboard trays and with a pedestal drawer unit comprising of 3 nos of equal sized drawers including necessary opening for electrical wiring, sockets, AV controls etc complete. The top of the table shall be finished with approved 1.0 mm thk laminate and 1.0 mm thk laminate internally etc complete as per instructions of the Architect. The rate shall be inclusive of heavy duty CPU trolleys, footrest, wire manager, provision for electrical, AV & other accessories, cut outs for switch-sockets etc complete.				
i	<b>Full Height Storage - Laminate Finish (450mm Deep)</b>	22.00	Sq. Mtr.	8,000.00	176,000.00
	Providing and fixing <b>Full height Storage</b> of height approximately 7'-0" and 450mm depth at locations as specified in the drawings as per specification below.				
	Skeleton - made out of 19 mm. thk BWR ply at end verticals, top and bottom and verticals 450mm to 600mm Centres and 6 mm thk back BWR ply.				
	SHELVES - 19mm Thk. BWR Plywood top and edges finished in 1.0mm thk. Laminate to accommodate file height removable and supported on pins.				
	SHUTTERS-made out of 19mm thk. BWR ply externally and internally finished with 1.0 mm thk laminate as shown or directed.				
	HINGES - Each shutter shall have 100mm long oxidised brass butt hinges. Minimum 4 nos. hinges for each of the shutter for Full height Storage and 3 Nos. hinges for each of the shutter for Low Height Storage to be provided.				
	BOLTS - Flush tower bolts from inside at top and bottom to the shutters and magnetic catch fixed top and bottom.				
	LOCKS - of approved make 4-lever brass body dead lock with S.S. Key.				
	HANDLES - Concealed handles minimum of 100mm wide as approved by the Architect.				
	SKIRTING -As instructed by Architect, in BWR plywood finished in Laminate.				

ii	<b>Full Height Storage - Laminate Finish (600mm Deep)</b>	12.00	Sq. Mtr.	9,500.00	114,000.00
	Providing and fixing <b>Full height Storage</b> of height approximately 7'-0" and 600mm depth at locations as specified in the drawings as per specification below.				
	Skeleton - made out of 19 mm. thk BWR ply at end verticals, top and bottom and verticals 450mm to 600mm Centres and 6 mm thk back BWR ply.				
	SHELVES - 19mm Thk. BWR Plywood top and edges finished in 1.0mm thk. Laminate to accommodate file height removable and supported on pins.				
	SHUTTERS-made out of 19mm thk. BWR ply externally and internally finished with 1.0 mm thk laminate as shown or directed.				
	HINGES - Each shutter shall have 100mm long oxidised brass butt hinges. Mimimum 4 nos. hinges for each of the shutter for Full height Storage and 3 Nos. hinges for each of the shutter for Low Height Storage to be provided.				
	BOLTS - Flush tower bolts from inside at top and bottom to the shutters and magnetic catch fixed top and bottom.				
	LOCKS - of approved make 4 -lever brass body dead lock with S.S. Key.				
	HANDLES - Concealed handles minimum of 100mm wide as approved by the Architect.				
	SKIRTING -As instructed by Architect, in BWR plywood finished in Laminate.				
iii	<b>Low Height Storage - Laminate Finish</b>	5.00	Sq. Mtr.	11,000.00	55,000.00
	Providing and fixing <b>Low height Storage</b> of ht. 2'-6" or 4'-0" as desired and depth of 450mm as per specification below.				
	Skeleton - made out of 19 mm thk BWR Plywood at end verticals, top and bottom and verticals 450mm to 600mm Centres as directed and 6 mm thk BWR back ply.				
	SHELVES - At appropriate locations in 19mm Thk. BWR Plywood top and edges finished in 1.0mm thk. Laminate to accommodate file height removable and supported on pins (To carry a load of 10-15 kgs).				
	SHUTTERS- Made out of 19mm thk. BWR Plywood externally finished with 1.0mm thk laminate and Internally finished in 1.0 mm thk. Laminate as directed.				
	HINGES - Each shutter shall have 100mm long oxidised brass butt hinges. Mimimum 4 nos. hinges for each of the shutter for Full height Storage and 3 Nos. hinges for each of the shutter for Low Height Storage to be provided.				
	BOLTS - Flush tower bolts from inside at top and bottom to the shutters and magnetic catch fixed top and bottom.				
	LOCKS - of approved make 4 -lever brass body dead lock with S.S. Key.				
	HANDLES - Concealed handles minimum of 100mm wide as approved by the Architect.				
	SKIRTING -As instructed by Architect, in BWR plywood finished in Laminate.				
iv.	<b>Overhead storage - Laminate finish</b>	2.00	Sq. Mtr.	9,500.00	19,000.00
	Providing and fixing <b>Overhead Storage</b> of ht. 2'-0" or as desired and depth of 375mm as per specification below.				
	Skeleton - made out of 19 mm thk BWR Plywood at end verticals, top and bottom and verticals 450mm to 600mm Centres as directed				
	SHELVES - At appropriate locations in 19mm Thk. BWR Plywood top and edges finished in 1.0mm thk. Laminate to accommodate file height removable and supported on pins (To carry a load of 10-15 kgs).				
	SHUTTERS- Made out of 19mm thk. BWR Plywood externally finished with 1.0mm thk laminate and Internally finished in 1.0 mm thk. Laminate as directed.				
	HINGES - Each shutter shall have 2-3 Nos. hinges to be provided as per directions.				
	BOLTS - Flush tower bolts from inside at top and bottom to the shutters and magnetic catch fixed top and bottom.				
	LOCKS - of approved make 4 -lever brass body dead lock with S.S. Key.				
	HANDLES - Concealed handles minimum of 100mm wide as approved by the Architect.				

v	<b>Lunch counter</b>	5.00	R.Mtrs	6,000.00	30,000.00
	Providing 2'-0" wide lunch counter in ply to be finished with 18mm thk jet black granite for the top and 1.0mm thk approved laminate for the remaining exposed areas including the necessary supports in ply to be finished with 1.0mm thk laminate including necessary hardware, half round moulding / nosing to and for the jet black granite top to be provided for the entire front areas of the counter & supports, hardware etc complete				
vi	<b>Shutter below Granite counter - Laminate finish</b>	13.00	Sq. Mtr.	7,000.00	91,000.00
	Providing & fixing shutters made out of 19mm thick marine ply (IS 303) with 19mm x 12.50mm beading all around with 1mm thick laminate finished for storage below Granite counter including melamine polish etc including all necessary hardware such as hinges, concealed handle. The rate shall be inclusive of providing & fixing modular S.S service trolleys below with standard sliding channel sections as per manufacturers specifications for the complete length and height of the counter including shutters in marine plywood including the necessary t.w frame etc complete.				
vii	<b>Acrylic panel on ss studs (2'0"x2'6")</b>	2.00	Nos.	2,700.00	5,400.00
	Providing & fixing 2 layers of sandwich 6 mm thk hard strength acrylic sheet to be fixed over S.S studs etc complete				
viii	<b>Pantry SS Sink bowl</b>	1.00	Nos.	15,000.00	15,000.00
	Providing & fixing of Nirali / Omni / equivalent make, Big 18"x18" bowl size SS sink bowl with all necessary acc. i.e. waste coupling, flexible drain pipe, Pillar cock, Stop Cock etc. Complete.				
11	<b>Slotted angle storage racks</b>	30	Sq. Mtr.	2,700.00	81,000.00
	Providing & installation of metal slotted angle racks finished with powder coated paint with all necessary hardware, etc complete. Height 7'0", Depth 15" to be considered. Loading capacity should be 80kg UDL / level				
	<b>SCHEDULE II - LOOSE FURNITURE WORKS</b>				
1	<b>Cabin Tables</b>				
	Providing and supplying table for the Senior Executives as shown in the plan or as approved and to be made out of 19mm thk. Plywood finished with approved 4.0mm thk high end & premium class veneer with polycoat polish for the top. The front & side aprons to have 4.0 mm thk high end and premier class veneer with high end melamine polish. The top of the table to have t.w. moulding all around the table to be finished with polycoat polish of approved shade. The rate shall be inclusive of providing a heavy duty keyboard tray on sliding telescopic channels & a pedestal drawer unit made out of 16mm thk marine ply on side with 2 nos of equal sized drawers on sliding channels & openable shutter below to be finished with 4.0 mm thk high end veneer with high end melamine polish for the external exposed surfaces. The rate shall also including providing and fixing in position Side credenza on one side to be finished with 4.0 mm thk high end veneer with high end melamine polish for the external exposed surfaces and internally with 0.8mm thk laminate.				
	All internal surfaces to be finished in approved 0.8mm thk laminate. All the external exposed surfaces shall be finished with 4.0mm thk approved high end veneer with melamine polish including the drawer unit except the top which shall have polycoat polish. The rate shall also include heavy duty CPU trolley of reputed manufacturer. The necessary hardware such as automatic locking, ball catches, wire managers etc to be provided as per the instructions of the Architect. The Elevation of the table shall be as directed by Architect on site, which shall include design inlays in SS, and central panel to be finished with combination of muralic arrangement, separator jali and square bevelled designer glass panels on SS studs etc complete.				
	The rate shall be inclusive of necessary openings & provisions for video/tele conferencing, wire managers, necessary hardware, cable cubby, cabling arrangements for video / tele conferencing, openings for speakers, provisions & cut outs for installation of gadgets etc complete. The rate shall also include providing stand-alone foot rest to the table of projection width as directed to be finished with approved veneer with melamine polish etc complete for the entire length of the table.				

	The finish on top shall be post formed finish. Top are with 25mm thk boards with post formation on 2 sides and 2mm PVC edge banding with enhanced scratch resistance supported on 25mm thk. Gable ends and 18mm thk Modesty panels. Exposed edges are in 2mm thk PVC edge banding & sealed edges are in 0.8mm thk PVC edge banding. Separate provision for mounting switches on the walls / partitions adjoining the tables shall be made by customer as the tables do not come with switch mounting facility. Wire routing / wire management gromets (Patented Squeeze) shall be provided on main or side table as specified by customer. Key board Tray Metal 19" with mouse pad + Metal CPU Trolley shall be inclusive in the rate quoted				
a	Tables for the D.G.M of Size - Effective length of 7'-0" (clear) X 2'-9" (Avg Centre - Clear) with specifications as above.	9	Nos	65,000.00	585,000.00
b	Tables for the G.M of Size - Effective length of 8'-0" (Avg Centre - Clear) X 3'-0" (Centre - Clear) with specifications as above.	2	Nos	80,000.00	160,000.00
c	Table for the C.G.M of Size - Effective length of 8'-6" (Avg Centre - Clear) X 3'-0" (Centre - Clear) with specifications as above.	1	Nos	102,000.00	102,000.00
2	<b>Work Stations for Officers (5'-0" x 5'-0")</b>				
	Providing, Supplying & installation of Angular workstations as per layout of size 1500x1500x600mm & Height 750mm including 18 mm Thick Front magnatic screen with aluminum frame with PVC bracket 300 HT. The Table tops shall be made of 19mm thk Commercial Plywood with approved 1.0mm thk laminate both sides of top in seude finish conforming to IS : 12823 Interior Grade with 2 mm thick pvc edgebanding of matching shade to make it more resitant towards heat and moisture.	54	Nos	35,000.00	1,890,000.00
	A specially designed powder coated M.S. brackets shall be fixed to the partition frame to support the table tops. Gable ends shall be made of 19mm thk Commercial plywood with suede finish with both side 1.0mm thk laminate and connected to frame with help of metal powder coated brackets to support table top.				
	The free space available within raceway accommodates power, data and communication cables. Metal CPU Trolley & Keyboard tray to be provided. Rate shall include Providing & Fixing of Low height Partition to comprise of BottomTile with Bottom row of frame to continue upto the Finished floor level and to be provided with 12mm thk 303 MR grade Commercial Plywood screwed to frame work on both sides with joints as shown or directed and 1.0mm thk laminate on both internal and external sides in std color. The screen shall comprise of Fabric tile to be constructed out of 4 mm thick MDF board, and covered with fabric of std color. Soft pin up tile: made out of 0.8 mm thick galvanized iron sheet with 8mm thick cross linked foam and covered with fabric of std color. Whiteboard Marker tiles: Made out of 6mm MDF with 1mm glossy highly wear resistant face laminate with a balancing laminate of 0.8mm thick on the back.				
	The Pedestal Unit is made of 16mm thk marine ply with 3 nos of equal sized drawers on telescopic channels and to be finished with 1.0mm thk approved laminate on all the exposed surfaces i.e. front, sides, rear, base and top. All the exposed edges are sealed with 2mm thick PVC edge banding on sides and bottom. The top and drawer facia are sealed with 2mm thick PVC edge banding of matching shade. The sides of Inside drawer box are of plywood. The drawer box is fitted with roller Slide for free movement. The drawer unit is provided with central locking system, where in the three drawer are locked with one key. PVC recessed handles are provided for easy opening and closing of drawer.				
	The drawer unit is fitted on castors for easy mobility. PVC edgebanding shall be of Rehau or Dolken of German make The complete furniture unit shall be customized on site with site-in-situ or could be allowed to be manufactured Ex-factory and assembled with knock down fittings. The pedestal is fitted with additional (5th) castor to avoid toppling in case of opening all the three drawers. All the hardware & channels are from Hettich/Ebco.				
	TABLE TOP : 19mm thk Commercial Plywood with 1.0mm thk laminate as indicated above with 2mm thick PVC edge banding finish as per approved laminate color.				
	END SUPPORT LEGS : Aluminum Type Legs powder coated finish as per approved shade. Or Providing & Fixing of Low height Partition to comprise of BottomTile with Bottom row of frame to continue upto the Finished floor level and to be provided with 12mm thk 303 MR grade Commercial Plywood screwed to frame work on both sides with joints as shown or directed and 1.0mm thk laminate on both internal and external sides in std color as directed				

	MID SUPPORT LEGS : Metal Type -60X30 rectangular Leg powder coated finish as per approved shade or Providing & Fixing of Low height Partition to comprise of BottomTile with Bottom row of frame to continue upto the Finished floor level and to be provided with 12mm thk 303 MR grade Commercial Plywood screwed to frame work on both sides with joints as shown or directed and 1.0mm thk laminate on both internal and external sides in std color as directed				
	BEAM : 40mm x 40mm CRC square pipe with powder coated finish as per approved shade provided die casted brackets to support top with skinning and 1.0mm thk laminate finish				
	FLAPPER : Access Flap Powder coated flushed with top - 450 x 120 mm.				
	WIRE CARRIER : Powder coated wire carrier to be provided for arranging wires for electricity & data.				
	WIRE RISER : Powder coated wire riser to be provided for raising wires form floor.				
	The screen 300mm Height shall comprise of Fabric tile to be constructed out of 4 mm thick MDF board, and covered with fabric of std color. Soft pin up tile: made out of 0.8 mm thick galvanized iron sheet with 8mm thick cross linked foam and covered with fabric of std color. Whiteboard Marker tiles: Made out of 6mm MDF with 0.8mm glossy highly wear resistant face laminate with a balancing laminate of 0.8mm thick on the back.				
	FRONT & LEG SIDE MODESTY: Metal Type perforated front modesty powder coated finish as per approved shade 450 HT or Providing & Fixing of Low height Partition to comprise of BottomTile with Bottom row of frame to continue upto the Finished floor level and to be provided with 12mm thk 303 MR grade Commercial Plywood screwed to frame work on both sides with joints as shown or directed and 1.0mm thk laminate on both internal and external sides in std color as directed				
	MOVABLE DRAWER 400X450X 600 MM (2D+1F) : As per specifications indicated herein above				
3(a)	Supply & installation of Storage Units upto any desired length 750mm height & 450mm deep made out of 19mm thk Commercial Plywood to be finished with 1.0mm thk laminate duly approved, of desired finish, shade & texture conforming to relevant IS code, Interior Grade with 2 mm thick pvc edgebanding of matching shade to make it more resisitant towards heat and moisture including shutters finished in 1.0 thk laminate externally & 0.8 mm thk laminate internally to be mounted on hinges fixed to 50mm x25mm tw frame polished internally and laminate on all exposed external surfaces inclusive of intermediate shelf finished in laminate @375mm c/c, as per specs and 100mm skirting to be finished with laminate. Rate to include Godrej or equivalent locks, SS designer handles, hinges including all necessary fittings, fixtures, hardware, assessories etc complete. Rate to also include creation of Planter boxes above the Storage units in 19mm thk Commercial plywood with Aluminium foil lining inside the planter box and filling the same with white pebbles, biophilic planters with its box to be filled with requisite soil, temperature thermometer and humidity control meter etc complete.	225	Sq. Fts	1,100.00	247,500.00
(b)	<b>LOW HEIGHT STORAGE FOR CABINS</b>				
	Providing and fixing Low height Storage of ht. 2'-6" or 4'-0" as desired and depth of 16" or 18" as specified in the drawings as per specification below.	425	Sq. Fts	1,000.00	425,000.00
	Skeleton - made out of 19 mm. Thk ply at end verticals, top and bottom and verticals 450mm to 600mm Centres as shown in drawing and 6 mm thk back ply.				
	SHELVES - 19mm Thk. Plywood top and edges finished in 0.8mm thk. Laminate to accommodate file height removable and supported on pins.				
	SHUTTERS-made out of 19mm thk. ply externally finished in 4.0mm thk. Veneer with polycoat polish and Internally finished in 0.8 mm thk. Laminate as shown or directed.				
	HINGES - Each shutter shall have 100mm long oxidised brass butt hinges. Mimimum 4 nos. hinges for each of the shutter for Full height Storage and 3 Nos. hinges for each of the shutter for Low Height Storage to be provided.				
	BOLTS - Flush tower bolts from inside at top and bottom to the shutters and magnetic catch fixed top and bottom.				
	LOCKS - of approved make 4 -lever brass body dead lock with S.S. Key.				
	HANDLES - 100mm wide handles of brass as approved by the Architect.				
	SKIRTING -As instructed by Architect, in plywood finished in approved 4.0 mm thk veneer with polycoat polish.				
	BACK - Back side of storage to have 6mm thk. commercial ply with polish finish.				

	Finishing :- All the external surfaces including the top of the storage unit and exposed wood surfaces shall be finished with 4.0 mm approved veneer with melamine polish except the top of the storage unit which shall have 4.0mm thk high end veneer with polycoat polish. Inside visible surfaces complete with 0.8mm thk Laminate. Top to have t.w. moulding finished with high end polycoat polish as instructed.				
4	<b>SOFAS:-</b> Providing & Supplying Sofas, Sofa chairs of various types & categories (Single seater, Two seater & Three seater) etc complete as per the manufacturers specifications as mentioned below. The rights to select & approve the sofas & seating shall vest with the clients. The contractor shall submit brochures of manufacturer at the time of quoting for this item etc complete as per layout. The consultants reserve the right to select the sofas in line with the technical specifications envisaged & meeting the specifications standards expected.				
	The minimum standards for the Specifications of Sofas shall be as follows: - Inner solid Frame structure made of high quality wood. The wood is kiln chemical treated tropical Meranti wood. The legs are made of rubberwood having melamine matt finish. The seat cushion is made of 7 inches multi layered foam of density 32D 23D 32D and HD with polyester polyfill outer layer of 180 gsm. The polyester polyfill keeps the upholstery wrinkle free and soft.				
	The seating cushions have 3 inches of elastic webbing of 350 gsm with proper weave. The thread used is nylon bonded to provide lasting stitch strength. Backrest: 2" elastic webbing (250 gsm) with proper Weave and 3" foam (23D) with Polyester polyfill outer layer (180 gsm). Outer finish: stained solid wooden legs superior quality. Frame construction: Kiln seasoned mixed meranti solid tropical hard wood SEAT Webbing 3" proper webbing. Foam: 7" Multilayered foams Having 4" of High Resilience-HD Foam and 3" of HD virgin PU Foam. BACKREST: Webbing 2" elastic webbing, Foam: 18D PU foam Upholstery: semi PU with layer of polyester polywadding Stitching Nylon thread. Legs Solid kiln seasoned and treated Solid wood with Melamine Matt Finish. <b>Make:</b> Stanley/Featherlite/Durian/ Wipro/ Godrej or equivalent				
A	<b>Leatherite Sofas</b>				
i	Single Seater Sofas	7.00	No.	25,000.00	175,000.00
ii	Two Seater Sofas	15.00	No.	40,000.00	600,000.00
ii	Three Seater Sofas	8.00	No.	55,000.00	440,000.00
5	<b>Corner Table (1'-6" x 1'-6")</b> Providing, Supply & installation of Corner table- MATERIALS & DIMENSION (+/- 2mm) - 600L x 600W x 450H. TABLE MATERIALS & SIZE : TOP : SOLID VENEERED MDF TABLE TOP in 18 mm thickness OR GLASS TOP 10mm. LEGS: SOLID RUBBER /MS understructure, WOOD. Color : As Approved. LEGS: Color : As Approved. REST ANY STD COLOUR. The rate shall include including glass top to have bevelled edges including bottom glass shelf etc complete. The rate shall also include all the necessary hardware, fittings, fixtures as per manufacturers specifications complete. <b>Make:</b> Featherlite/Durian/ Wipro/ Godrej or equivalent	15.00	No.	7,500.00	112,500.00
6	<b>Center Table (Oval / Rectangular)</b> Providing, Supply & installation of Centre table- MATERIALS & DIMENSION (+/- 2mm) as mentioned hereinunder. TABLE MATERIALS & SIZE : TOP : SOLID VENEERED MDF TABLE TOP in 18 mm thickness OR GLASS TOP 10mm. LEGS: SOLID RUBBER /MS understructure, WOOD. Color : As Approved. LEGS: Color : As Approved. REST ANY STD COLOUR. The rate shall include including glass top to have bevelled edges including bottom glass shelf etc complete. The rate shall also include all the necessary hardware, fittings, fixtures as per manufacturers specifications complete. <b>Make:</b> Featherlite/Durian/ Wipro/ Godrej or equivalent				
a	Size of table- 4'-0" x 2'-0" (Oval / Rectangular)	12.00	No.	12,000.00	144,000.00

7	Providing, Supply & installation of Dining Tables, rectangular shaped in bevelled Glass top of 10mm thk including designer etching in the centre and supported using SS base frame with SS legs and frame support at the base and the top of the table level etc complete. The rate shall also include all the necessary hardware, fittings, fixtures as per manufacturers specifications complete. <b>Make:</b> Featherlite/Durian/Neelkamal/ Wipro/ Godrej or equivalent				
a	Size - 13'6" X 4'-9" (Avg Centre clear size)	1.00	No.	75,000.00	75,000.00
b	Size - 4'0" X 3'-0"	16.00	No.	12,500.00	200,000.00
8	<b>CHAIRS</b>				
	<b>Providing &amp; Supplying Chairs of approved make</b>				
	Providing & Supplying premium class & high end Chairs for different categories with minimum technical specifications such as Gas lift, Revolving type, Tilting type, castors, armrest, SS supports and all features of executive chairs as per the approved makes. The basic specifications, which are to be considered as minimum specifications are as follows: -				
	<u>Chair Seat:</u> Pneumatic seat height adjustment (16" to 25.5"). Chair padding should allow for distribution of weight to be at a maximum.				
	<u>Chair Back :</u> Upper back support should be provided with tall back chairs. The chair back should make contact with individual's upper back and lumbar ( back ) support as per ergonomic principles. Back and seat angle adjustment allow for neutral positioning : 90-120 degree trunk-thigh angle. Back tension adjustment. Variable back stop adjustment on back tilt mechanism with locks in place at various angles.				
	<u>UPHOLSTERY :</u> As per desired finish. The upholstering to be done by means of pneumatic gun. The back & seat edges to be covered by PVC profile which is also stapled or ABS fibre covers fitted on the back. The fabric shall be coated with scotch guard for stain resistance. Chair fabric should have elasticity that does not restrict the foam.				
	<u>Armrests :</u> Fixed Handles of inflexible PUF with cushioned soft armrest and rounded edges.				
	<u>Mechanism :</u> Single spring for full tilt or back tilt 360 degrees swivel mechanisms with a locking lever. The carriage shall be fibre/metallic powder coated with five prong legs.(Synchro Gas Tilt)				
	<u>Castors :</u> 5 flange or more star base. Twin wheel nylon castor each designed to sustain weight load of 100 Kg. Hard wheel castors for carpet and soft wheel castors for hard flooring.				
	The rights to select & approve the chairs shall vest with the clients. The contractor shall submit brochures of manufacturer at the time of quoting for this item etc complete as per layout. The consultants reserve the right to select the chairs in line with the technical specifications envisaged & meeting the specifications standards expected. <b>Make:</b> Featherlite/Durian/ Neelkamal/ Wipro/ Godrej or equivalent				
a	Providing & supplying Executive High back Chairs for Cubicles, Netted type / fabric / upholstered finish as per manufacturer specification	6.00	No.	16,000.00	96,000.00
b	Providing & supplying Executive Medium Back Chairs for Visitors of Cubicles including spares, Netted type / fabric / upholstered finish as per manufacturer specification	70.00	No.	6,200.00	434,000.00

c	Providing & supplying Executive Medium Back Chairs for VC cum Discussion Room & General Meeting Room including including server room for I.T staff etc, Netted type / fabric / upholstered finish as per manufacturer specification	20.00	No.	7,200.00	144,000.00
d	Providing & supplying staff Medium Back Chairs for Cubicles & Workstations & in-spare for utility areas including server room for I.T staff etc, Netted type / fabric / upholstered finish as per manufacturer specification	30.00	No.	6,200.00	186,000.00
e	Providing & supplying staff Low Back Chairs for Workstations &/or visitors including Reception Chair, Netted type / fabric / upholstered finish as per manufacturer specification	75.00	No.	7,200.00	540,000.00
f	Providing & supplying high end Fibre Dining chairs with SS supports in vibrant color combinations	65.00	No.	2,400.00	156,000.00
<b>GRAND TOTAL COST CIVIL &amp; INTERIOR WORKS - (A)</b>				<b>Rs.</b>	<b>32622800.00</b>
<b>PERCENTAGE ABOVE OR BELOW THE ESTIMATED COST - (B)</b>		<b>%</b>			
<b>TOTAL QUOTED PRICE BY THE BIDDER (A +/- B)</b>					

**NOTE:-** Cost inclusive of all taxes **except GST**. Rate includes shifting/ re-arranging of the furniture till Virtual completion certificate is issued by the Architect. All the new & old flooring / furniture shall be covered with POP/paper, thick plastic sheet or role to safeguard the furniture, till completion of Project.

I CONFIRM the above conditions along with estimate quoted by me

**CONTRACTOR FULL NAME & DETAIL ADDRESS**